

Downtown Boise

EAST END

POT BENCH

WARM SPRINGS MESA

Site

HARRIS RANCH

Boise

Investment & Development Opportunity |
Offering Memorandum

4812 E Barber Drive
Boise ID

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Highlights

Barber View Condominiums at Harris Ranch

- Hot spot for residential and retail development
- Surrounded by high end apartments, townhomes, single family residences and retail amenities
- Close to desirable Barber Valley and Warm Springs Estates
- 6 miles from Downtown Boise
- 12 minutes to Micron expansion project
- Minutes from the Boise River Greenbelt



Barber View Condominiums at Harris Ranch

Address 4812 E Barber Drive

Property Type Land/Development

Land Size 2.1 Acres

Zoning SP-01

Number of Dwellings 22

OFFERING PRICE

\$ 2,500,000

NEARLY ALL OF THE PRE-DEVELOPMENT WORK IS COMPLETE. CALL AGENTS FOR DETAILS.

Building A



Building B



Condominium Development

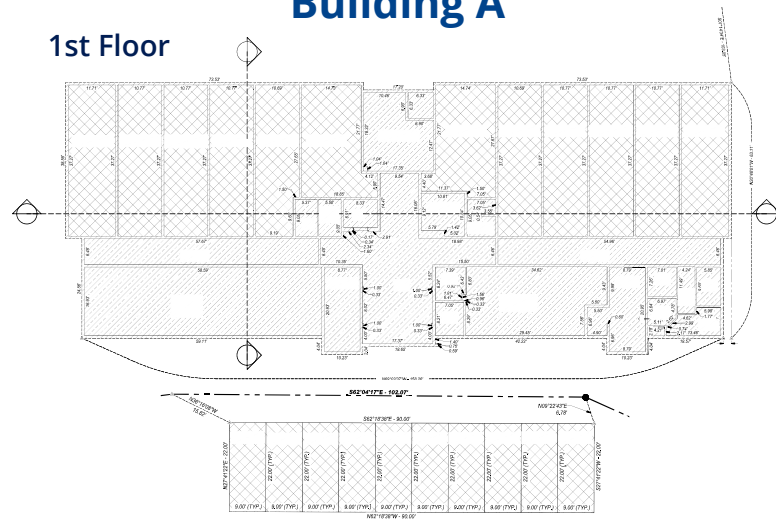
Approved construction drawings



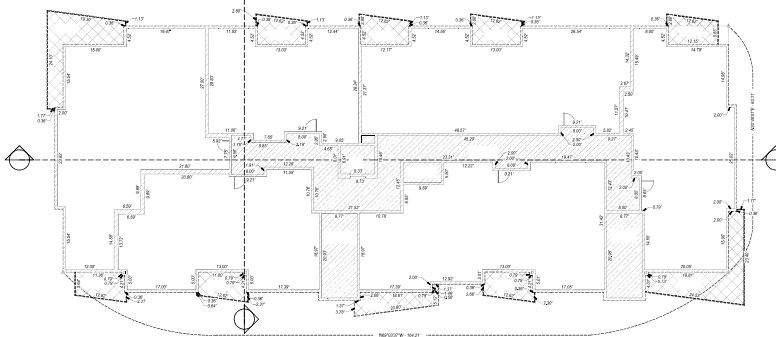
Project Elevations



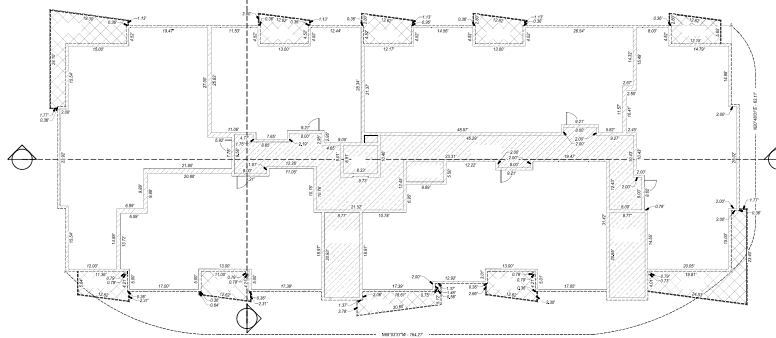
1st Floor



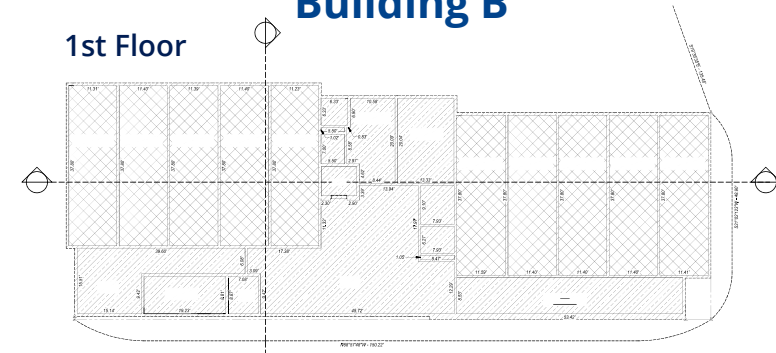
2nd Floor



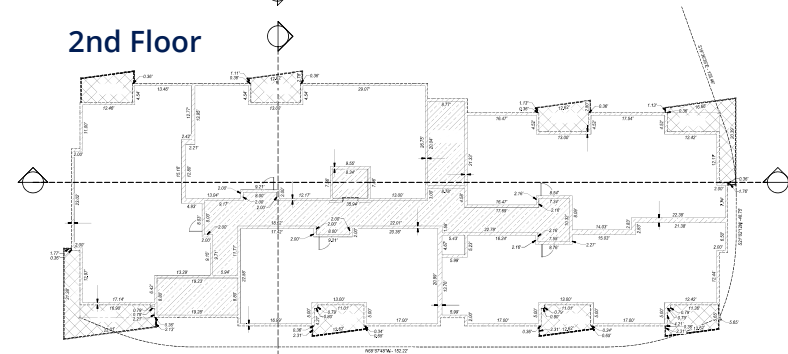
3rd Floor



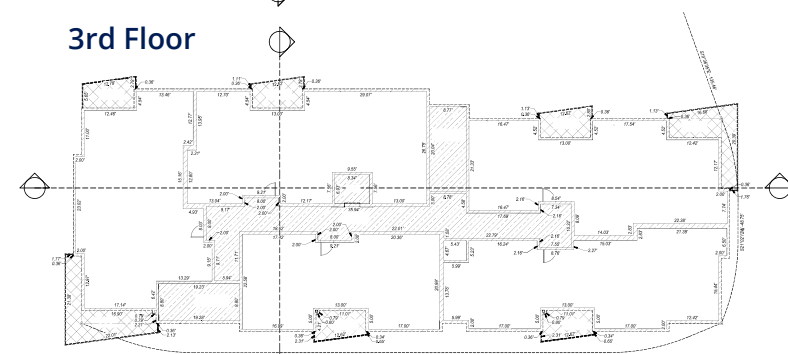
1st Floor



2nd Floor



3rd Floor



- UNIT NUMBER
PATIO AREA NUMBER
EXTERIOR BUILDING WALL LINE
INTERIOR BUILDING WALL LINE
TIE LINE

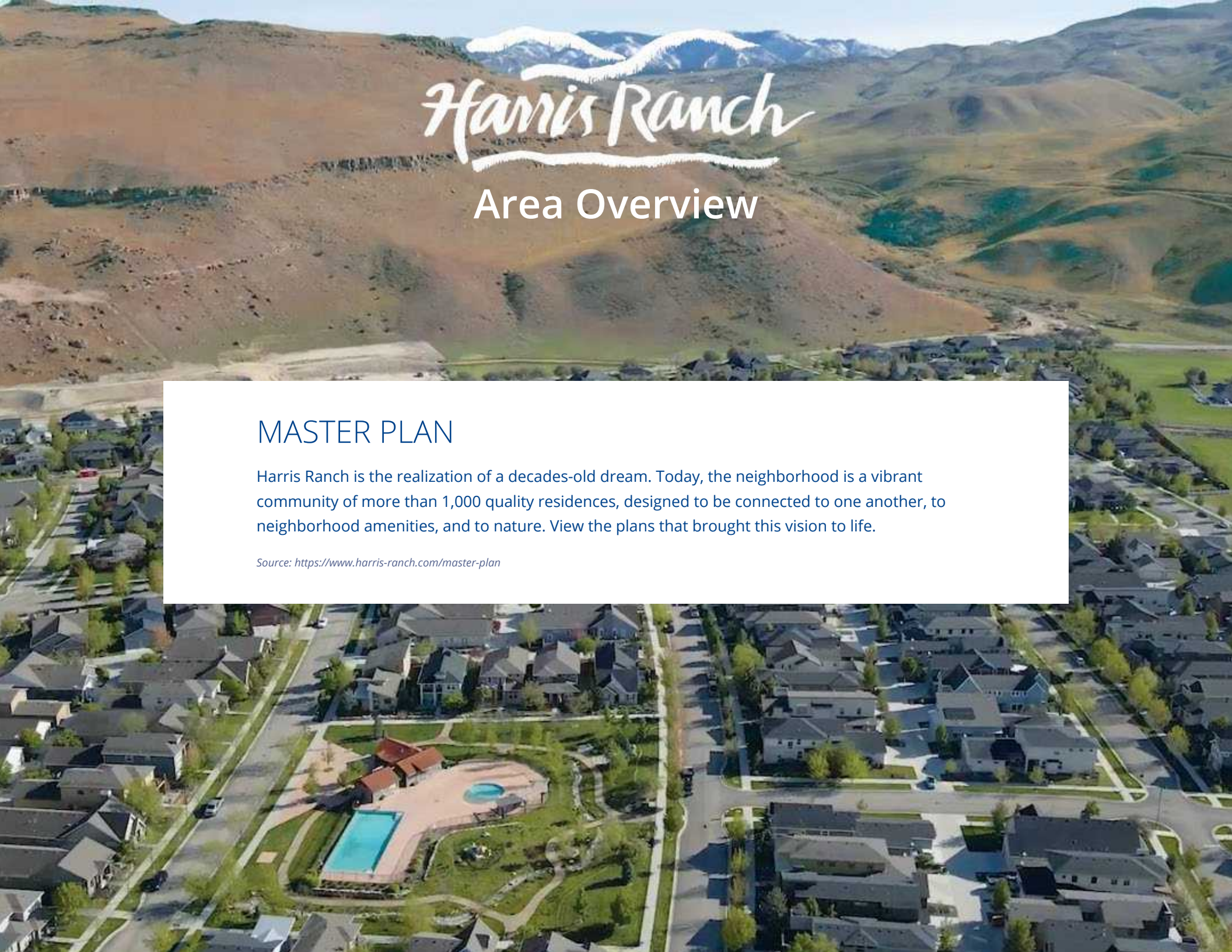
COMMON AREA

LIMITED COMMON AREA

UNIT DOOR

Local Area Map





Harris Ranch

Area Overview

MASTER PLAN

Harris Ranch is the realization of a decades-old dream. Today, the neighborhood is a vibrant community of more than 1,000 quality residences, designed to be connected to one another, to neighborhood amenities, and to nature. View the plans that brought this vision to life.

Source: <https://www.harris-ranch.com/master-plan>





COMMUNITY

E. Barber Drive is located minutes from the foothills as well as the vibrant, well connected community of the Harris Ranch development. This area is complete with over 1,000 quality residents, world-class pedestrian and bike paths, premium green spaces and river frontage.



[Google Map](#)



[Street View](#)



3000 feet



AMENITIES

Among the amenities that contribute to residents' quality of life:

- Green spaces, pocket parks, and flower fields
- Safe, well-maintained walking and bike paths
- Direct access to the Boise Greenbelt, Boise River, and Foothills trail network
- Locally owned restaurants and services in the neighborhood
- Close to Warm Springs Golf Course, downtown Boise, Bown Crossing, and the Boise airport
- Nearby arts & culture such as the Idaho Shakespeare Festival, Idaho Botanical Gardens, Barber Park & more
- Dallas Harris Elementary school in the heart of the neighborhood
- Future development includes additional housing, The Town Center and Village Green





FUTURE COMMUNITY HUB

Retail, Dining & Greenspace to gather.

TOWN CENTER

To/from site:  2 min  6 min  21 min

Preliminary concept for a Town Center to be located in a three block area along Park Center Blvd are expected to bring as much as \$500 million in investment. Designed to be a gathering space, the Town Center boasts a walkable avenue with retail shopping, restaurants and ample green space with public seating areas.





Local Area Overview - Boise

Boise is Idaho's largest city and the anchor of the Treasure Valley where nearly half of Idahoans reside.

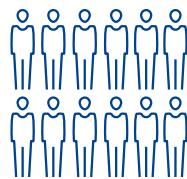
The city has established a unique reputation for a high quality of life, a prosperous business community, a vibrant arts & culture scene, and world re-known recreation—in one unbeatable pack

The scope and depth of Boise's vast array of activities take many first-time visitors by surprise. After all, few mid-sized cities can match Boise's blend of cultural opportunities and outdoor recreation. Venturing around downtown or enjoying the Boise River or foothills, Boise is no ordinary place.

Resources:

www.cityofboise.org

www.boise.org



2025
population

235,012



Best Places to Live in
the U.S. - *U.S. News*, 2024

#2



2025 Average
Household Income

\$120,729



Average
Commute Time (min)

22



Demographics

1 Mile Radius

Population

2025 Estimated Population	6,487
2030 Projected Population	7,211
Projected Annual Growth '25-'30	2.14%

Household

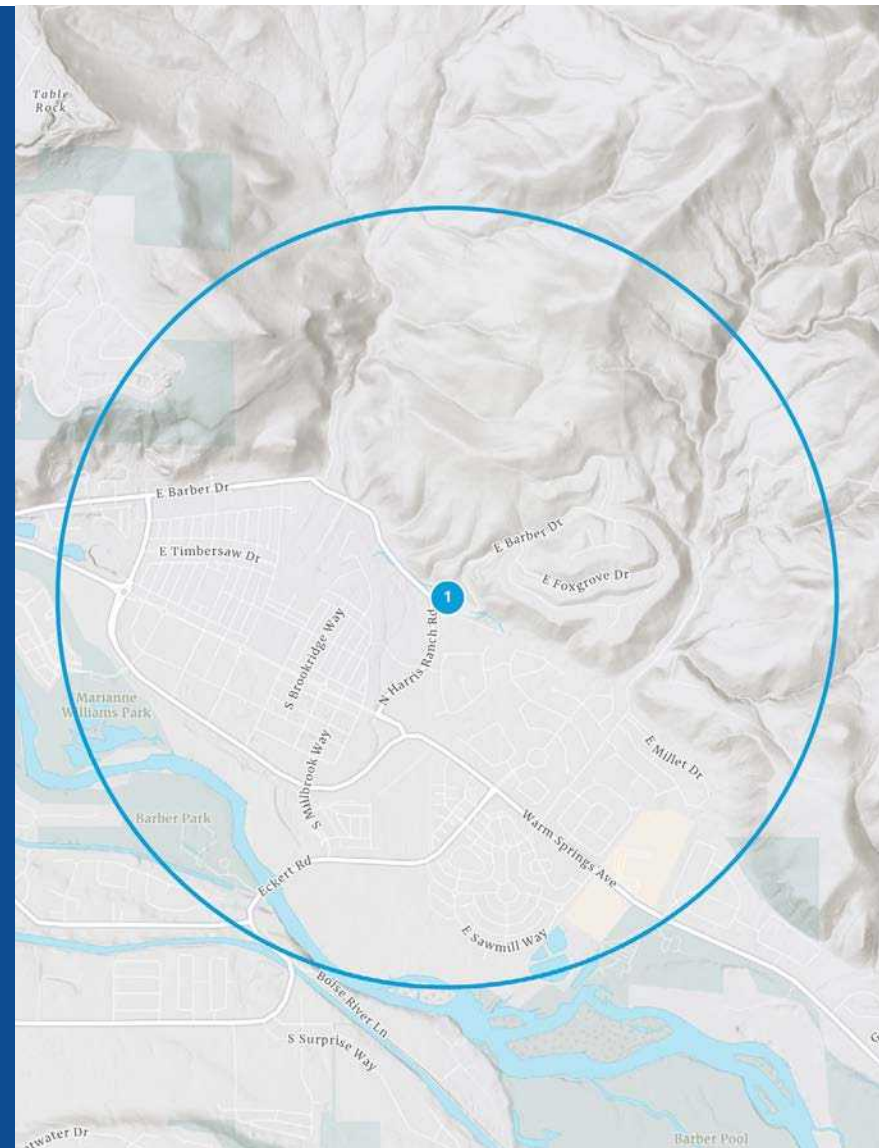
2025 Estimated Households	2,515
2030 Projected Households	2,826

Income

2025 Est. Average HH Income	\$219,684
2025 Est. Median HH Income	\$186,423

Misc.

2025 Median Home Value	\$711,276
2023 Median Gross Rent (5 yr)	\$2,270
2025 Est. Median Age (yrs)	44
2020 Average Travel Time to Work	21.0
2025 Est. Total HH Expenditure	\$456.7 M



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