

CITY OF ARLINGTON

TEMPERATE HABITS BREWERY (FILE PLN#1206)

SEC14 T31N R5E

PROJECT TEAM

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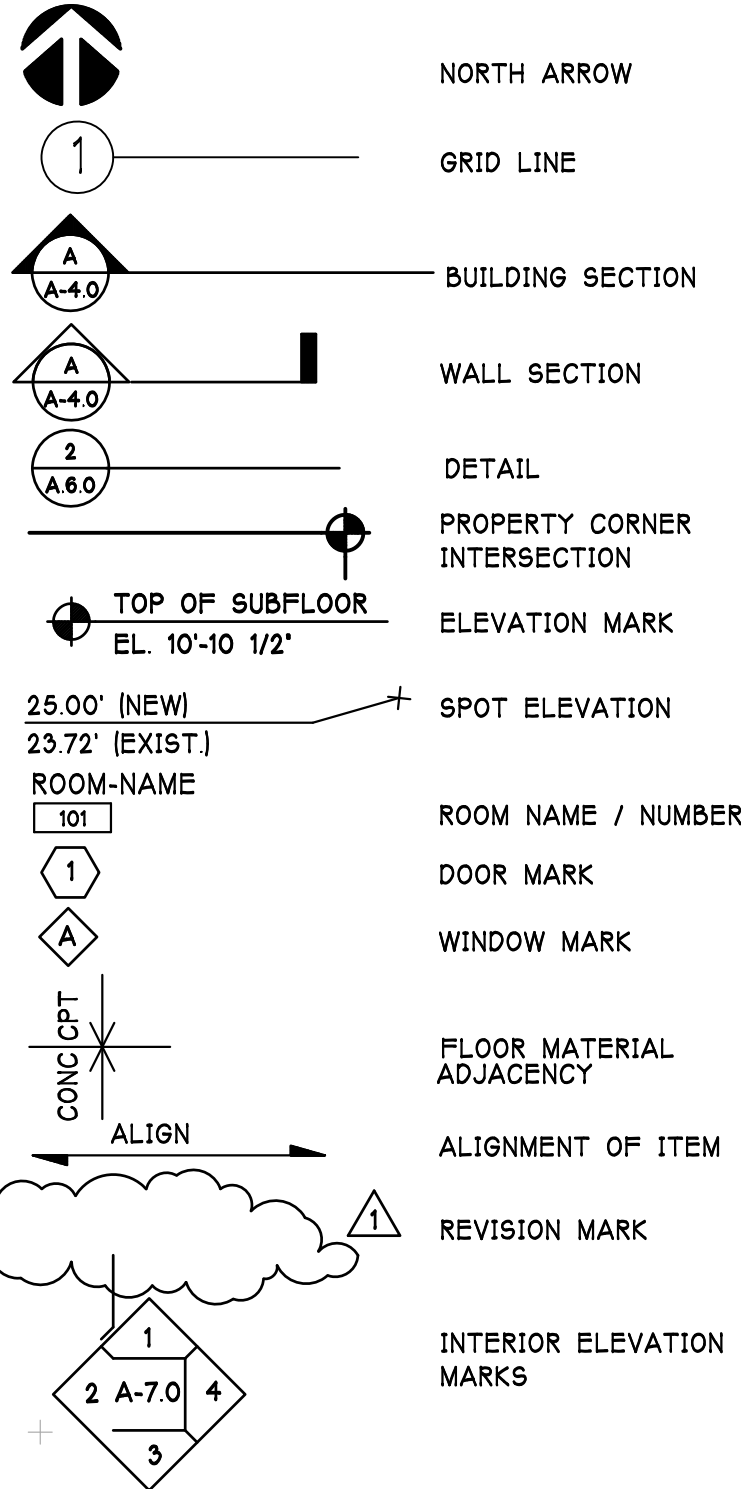
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SYMBOLS



ABBREVIATIONS

ABV	ABOVE	JNT	JOINT
AFF	ABOVE FINISH FLOOR		
AC TILE	ACOUSTICAL TILE	LVL	LEVEL
ACP	ACOUSTICAL CEILING PANEL	L	LONG LINE
ACT	ACTUAL	LAV	LAVATORY
AL	ALUMINUM	LIN	LINOLEUM
ARCH	ARCHITECTURAL	LT	LIGHT
A TILE	ASPHALT TILE		
AVG	AVERAGE	MAR	MARBLE
		MO	MASONRY OPENING
BFF	BOTTOM FINISH FLOOR	MFR	MANUFACTURE
BLKG	BLOCKING	MATL	MATERIAL
BR	BRICK	MAX	MAXIMUM
BOS	BOTTOM OF STRUCTURE	MECH	MECHANICAL
		MTL	METAL
		MIN	MINIMUM
		MUL	MULLION
CPT	CARPET	NAT	NATURAL
CLG	CEILING	NOM	NOMINAL
CEM	CEMENT	NA	NOT APPLICABLE
C	CENTER LINE	NIC	NOT IN THIS CONTRACT
C TO C	CENTER TO CENTER	NTS	NOT TO SCALE
CT	CERAMIC TILE	NO, #	NUMBER
CLO	CLOSET		
CW	COLD WATER	OC	ON CENTER
COL	COLUMN	OD	OUTSIDE DIMENSION
CONC	CONCRETE	O	OVER
CMU	CONCRETE MASONRY UNIT	OVHD	OVERHEAD
CONST	CONSTRUCTION		
(E) CONST	COORDINATE	PNT	PAINT
COORD	CORRIDOR	PTD	PAINTED
CFM	CUBIC FEET PER MINUTE	PL	PLASTER, PLATE
		P LAM	PLASTIC LAMINATE
DTL	DETAIL	PLYWD	PLYWOOD
DIA	DIAMETER	PT	POST-TENSIONED CONCRETE
DIM	DIMENSION		PRESSURE-TREATED WOOD
DO	DITTO	QT	QUARRY TILE
DR	DOOR	RL	RAIN LEADER
DN	DOWN	REF	REFRIGERATOR
DWG	DOWNSPOUT	REF	REFRIGERATOR
DF	DRAWING	REF	REFERENCE
	DRINKING FOUNTAIN	REINF	REINFORCING BAR
		REV	REVISION
EA	EACH	R	RISER, RADIUS
ELEC	ELECTRICAL	RM, RMS	ROOM, ROOMS
ELEV, EL	ELEVATION	RO	ROUGH OPENING
EQ	EQUAL		
	EXISTING	SCHED	SCHEDULE
EXT	EXTERIOR	SEC	SECTION
		SHT	SHEET
FO	FACE OF, FINISH OPENING	SHT	SHEET VINYL
FRP	FIBERGLASS REINF POLYESTER	SV	SOLID CORE
FIN	FINISH	SC	SPECIFICATIONS
FAAP	FIRE ALARM ANNUNCIATOR PANEL	SF	SQUARE FEET
FD	FIRE DAMPER	S & V	STAIN & VARNISH
FE	FIRE EXTINGUISHER	SV	SHEET VINYL
FF	FACTORY FINISH	STRWY	STAIRWAY
FF	FINISH FLOOR	STL	STEEL
FRT	FIRE RETARDANT TREATED	STOR	STORAGE
FLASH	FLASHING	STRUCT	STRUCTURAL
FLR	FLOOR	SUSP	SUSPENDED
F.A.	FLUID-APPLIED	THRESH	THRESHOLD
FND	FOUNDATION	T.O.	TOP OF
FTIC	FURNISHED BY TENANT,	T	TREAD, THICKNESS
	INSTALLED BY CONTRACTOR	TS	TEMPERED
FTIT	FURNISHED BY TENANT,	TYP	TUBE STEEL
	INSTALLED BY TENANT		TYPICAL
FCIC	FURNISHED BY CONTRACTOR,	UNFIN	UNFINISHED
	INSTALLED BY CONTRACTOR	UNO	UNLESS NOTED OTHERWISE
		UR	URINAL
GA	GAUGE	VCT	VINYL COMPOSITION TILE
GALV	GALVANIZED	VERT	VERTICAL
GAP	GENERATOR ALARM PANEL	VIN	VINYL
GL	GLASS	VR	VAPOR RETARDER
GWB	GYPSUM WALLBOARD	VTO	VENT TO OUTSIDE
		WC	WATER CLOSET
HC	HANDICAP	WP	WATERPROOFING
HOWE	HARDWARE	WS	WHEEL STOP
HP	HEAT PUMP	W	WIDTH
HT	HEIGHT	WDO	WINDOW
HM	HOLLOW METAL	w/	WITH
HOR	HORIZONTAL	WD	WOOD
HB	HOSE BIB	WI	WROUGHT IRON
HW	HOT WATER	WRGB	WATER RESISTANT GYPSUM BOARD
HWT	HOT WATER TANK	ZINC	ZINCALUME
HMD	HOLLOW METAL DOOR		
HMF	HOLLOW METAL FRAME		
ID	INSIDE DIMENSION		
INSUL	INSULATION		
INT	INTERIOR		

GENERAL NOTES

- IN GENERAL, PLAN DIMENSIONS SHOWN ARE TO FACE OF STUD OR FACE OF CONCRETE, UNLESS OTHERWISE NOTED. DO NOT SCALE THESE DRAWINGS. USE CALCULATED DIMENSIONS ONLY. VERIFY ALL DIMENSIONS DATUM, AND LEVELS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO INITIATING THE WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- ALL WORK SHALL COMPLY WITH THE 2018 IBC, IFC, UPC, IMC AS AMENDED BY WASH. STATE. PROJECT SHALL ALSO COMPLY WITH THE 2018 NREC AND THE VIACQ CODES. PROJECT SHALL ALSO COMPLY W/ JURISDICTIONAL CODE AMENDMENTS BY THE LOCAL AGENCY. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NECESSARY PERMITS & INSPECTIONS TO COMPLETE THE WORK. CONTRACTOR TO HAVE CURRENT VALID CITY OR COUNTY BUSINESS LICENSE PRIOR TO ISSUANCE OF PERMIT, WHEN REQUIRED BY LAW.
- ERRORS, OMISSIONS, AND DISCREPANCIES, IF ANY, SHALL BE REFERRED TO THE ARCHITECT IMMEDIATELY FOR DIRECTION OF HOW TO PROCEED.
- VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT PROVIDED IN THE CONTRACT BY OTHERS PROVIDE ALL BLOCK-OUTS, BLOCKING, BACKING AND JACKS REQUIRED FOR DUCTS, PIPES, CONDUITS, EQUIPMENT, FIXTURES, AND CABINETS. VERIFY SIZE AND LOCATION.
- DO NOT SIGNIFICANTLY VARY OR MODIFY THE WORK SHOWN, EXCEPT UPON WRITTEN INSTRUCTIONS OF THE ARCHITECT.
- VERIFY LOCATION OF ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO, SEWER, SEPTIC, WATER, GAS, POWER, AND TELEPHONE. CAP, MARK AND PROTECT.
- DETAILS ARE INTENDED TO SHOW THE INTENT OF THE DESIGN, MINOR MODIFICATION MAY BE REQUIRED TO SUIT THE FIELD DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK OF THE CONTRACT.
- PROVIDE CLOSURE, MEETING THE REQUIREMENTS OF ALL GOVERNING AUTHORITIES, AT RATED PARTITIONS, FLOORS, CEILINGS, AND ROOF LOCATIONS. ALL REQUIRED FIRE-RATED PARTITIONS SHALL BE CONTINUOUS FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE.
- THE CONTRACTOR SHALL CONSULT PLANS OF ALL TRADES, INCLUDING DESIGN-BUILD DOCUMENTS REQUIRED BY CONTRACT DOCUMENTS, TO VERIFY SIZE, WEIGHT, POWER, LOCATION AND OTHER REQUIREMENTS AND LOCATION OF THOSE ITEMS TO BE INSTALLED PRIOR TO COMMENCEMENT OF WORK.
- NO BUILDING OR PORTION OF A BUILDING SHALL BE OCCUPIED OR USED FOR STORAGE PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. NO EXCEPTIONS.
- SEPERATE PERMITS ARE REQUIRED FOR PLUMBING, MECH. ELEC. FIRE SPRINKLER, FIRE ALARM SYSTEMS & SIGNAGE.
- ALL EXPOSED EXTERIOR SHEET METAL SHALL BE GALVANIZED, PRIMED AND PAINTED.
- ALL WOOD IN CONTACT W/ CONCRETE SHALL BE PRESSURE TREATED. PRESSURE TREATED WOOD SHALL BE USED FOR WOOD MEMBERS WHICH FORM THE STRUCTURAL SUPPORT OF BALCONIES, DECKS, OR PORCHES ETC. WHEN SUCH MEMBERS ARE EXPOSED TO THE WEATHER.
- SLOPE ALL DECKS, PATIOS, AND WALKWAYS AWAY FROM BUILDING MINIMUM OF 1/8"/FT. FOR POSITIVE DRAINAGE.
- PROVIDE EXPANSION JOINTS IN ALL CONCRETE SLABS AS REQUIRED TO PREVENT CRACKING. SAW CUT ALL SLABS AS REQ'D.
- PROVIDE FIREBLOCKING, DRAFTSTOPS, AND FIRESTOPS IN ATTICS, FLOORS, AND WALL CAVITIES AS REQUIRED PER THE UBC.
- ROOF DRAINS, AND OVERFLOW DRAINS SHALL COMPLY W/ THE IPC & IBC. AND WALL CAVITIES AS REQUIRED PER THE IBC.
- DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED SUBJECT TO REVIEW BY THE ARCHITECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE WORK.
- CONTRACTOR SHALL RETAIN ONE SET OF THE PLANS TO NOTE AND DOCUMENT ALL CHANGES DURING CONSTRUCTION. THE SET SHALL BE A PART OF THE CONTRACTOR'S CLOSE-OUT PACKAGE TO THE OWNER. CLOSE-OUT PACKAGE SHALL INCLUDE: (1) SET OF SHOP DRAWINGS, PRODUCT LITERATURE, EQUIPMENT WARRANTEE MANUALS. CONTRACTOR SHALL PROVIDE SOLID BLOCKING, UNLESS NOTED OTHERWISE AS REQUIRED FOR NAILING OF ALL INTERIOR AND EXTERIOR TRIMS, FINISHES, AND FIXTURES. THE CONTRACTOR SHALL PROVIDE FOR ALL THE NECESSARY FRAMING AND BRACING FOR THE INSTALLATION OF OWNER FURNISHED ITEMS SUCH AS SIGNAGE, MENU BOARDS ETC.
- WHERE EXISTING WORK IS DAMAGED, CUT, OR DEFACED DUE TO PERFORMANCE OF NEW WORK, THE CONTRACTOR SHALL PATCH AND REPAIR SAME TO MATCH ADJOINING SURFACES. REPAIRED FINISHES SHALL BE EXTENDED TO THE NEAREST VISUAL BREAK LINES SUCH AS CORNERS, CEILING LINES, TOP OF BASE OR SIMILAR. THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY BE REPRODUCED ONLY WITH THE WRITTEN PERMISSION OF THE ARCHITECT. AUTHORIZED REPRODUCTIONS MUST BEAR THE NAME OF THE ARCHITECT.

PROJECT DATA

PROPERTY INFORMATION

PROPERTY ADDRESS 19712 ARLINGTON VALLEY ROAD
ARLINGTON, WA 98223
BUILDING CODE 2018 IBC/ 2018 IFC
ENERGY CODE 2018 WASHINGTON STATE NREC
FIRE SPRINKLERS YES NFPA 13
FIRE ALARM YES MONITORING FOR FIRE SPRINKLER

PARCEL #/ TAX ID

31051400204300

TWN./ RNG./ SEC.

SECTION 14 TOWNSHIP 31 RANGE 5

LEGAL DESCRIPTION

SECTION 14 TOWNSHIP 31 RANGE 5 QUARTER NW LOT E CITY ARL BSP PLN 798 REC AFN 202106025003 BEING A PTN OF SE1/4 NW1/4 SD SEC

ZONING/SETBACKS

ZONING: G1 GENERAL INDUSTRIAL/AIRPORT PROTECTION DISTRICT C
SETBACKS: 25' FROM STREET (EAST PROPERTY LINE)
20' FROM REAR (WEST PROPERTY LINE)
5' FROM SIDES (NORTH/ SOUTH PROPERTY LINES)
HEIGHT LIMIT 50'
SITE SIZE: 1.49 ACRES
LOT COVERAGE: NO REQUIREMENTS

PARKING CALCULATION

PARKING REQUIREMENTS PER COA MUNICIPAL CODE:
TABLE 20.72-1 BREWERY, DISTILLERY, CRAFT BEVERAGE PRODUCTION
-PRODUCTION 8,764 SQFT / 600 + 14.6 (15 STALLS REQ'D)
-TAP ROOM 1,724 S.F. / 200 + 8.62 (9 STALLS REQ'D)
-1 STALL PER EIGHT OUTDOOR SEATS, 24 SEATS PROVIDED (3 STALLS REQ'D)
(27) TOTAL REQUIRED STALLS
(47) STALLS PROVIDED (OK)
-CHAPTER 11 IBC TABLE 1106.1 FOR PARKING SPACES BETWEEN 25-50 REQUIRE (2) ADA STALLS
(2) ADA STALLS PROVIDED, (1) OF WHICH IS VAN ACCESSIBLE (OK)

BUILDING CODE DATA

OCCUPANCY F-2 MANUFACTURING/BREWERY/S-1 STORAGE/
A2 TAP ROOM/TASTING ROOM
(NOTHING BREWED OVER 16% ALCOHOL CONTENT)
CONSTRUCTION TYPE VB FULLY SPRINKLED
FIRST FLOOR 10,488 S.F.

ALLOWABLE AREA

THE BUILDING IS DESIGNED AS A NON-SEPARATED USE. THE MOST RESTRICTIVE OCCUPANCY IS A2 ASSEMBLY FOR THE TAP ROOM/TASTING ROOM.

A2 OCCUPANCY TYPE VB CONSTRUCTION, SINGLE STORY FULLY SPRINKLED HAS AN ALLOWABLE AREA OF 24,000 S.F. > 10,488 S.F. THEREFOR OKAY

RATED WALLS

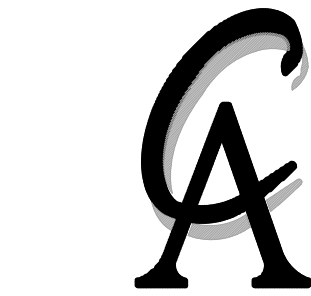
ALL EXTERIOR WALLS ARE GREATER THAN 10' FROM ANY PROPERTY LINE
NO RATED EXTERIOR WALLS

FIRE FLOW

11B FULLY SPRINKLED CAN REDUCE BY 75%
MIN. 1500 GPM @ 20 PSI REQUIRED

DRAWING INDEX

DR-1 DESIGN REVIEW- COVER SHEET/CODE ANALYSIS
DR-2 DESIGN REVIEW- COLORED BUILDING ELEVATIONS
DR-3 DESIGN REVIEW- ARCHITECTURAL SITE PLAN
DR-4 DESIGN REVIEW- SITE PLAN DETAILS
DR-5 DESIGN REVIEW- EXTERIOR LIGHTING
E03 DESIGN REVIEW- SITE LIGHTING PLAN
E03 DESIGN REVIEW- EXTERIOR BUILDING ELEVATION (LIGHTING)
LU1 ZONING PERMIT COVER SHEET
LU2 ZONING PERMIT SITE PLAN
L11 LANDSCAPING PLAN
L12 LANDSCAPING DETAILS



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A NEW BUILDING FOR:
TEMPERATE HABITS BREWING
19712 ARLINGTON VALLEY ROAD
ARLINGTON, WA 98233



22-636

PROJECT NUMBER:

REVISIONS:

2-1-24 DESIGN SET

3-5-24 PERMIT SET

5-24-24 DESIGN REV.

SHEET TITLE:

COVER SHEET



QUINTIN SUTTER
PROJECT ARCHITECT:

QUINTIN SUTTER
DRAWN BY:

PJC

CHECKED BY:

JUNE 21, 2022

DATE

S:\ARCH\22\DRAWINGS\22-636 SITE
COMPUTER FILE NAME

DR-1

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PROJECT SITE



VICINITY MAP

N.T.S.



SOUTH ELEVATION

SCALE: 1/8"=1'-0"

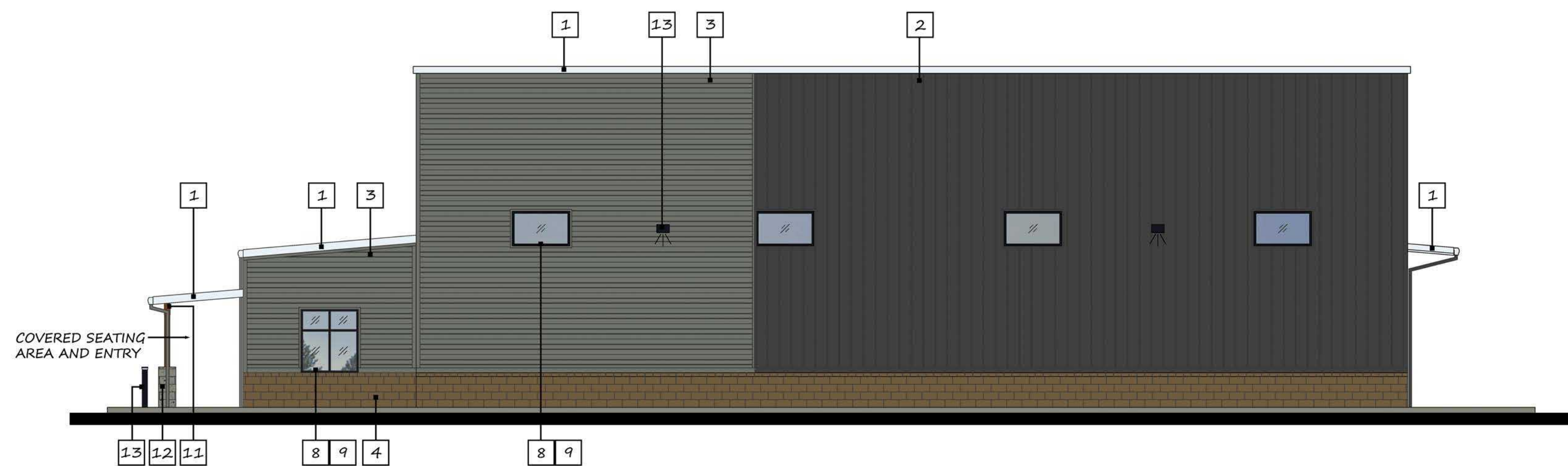


EAST ELEVATION

SCALE: 1/8"=1'-0"

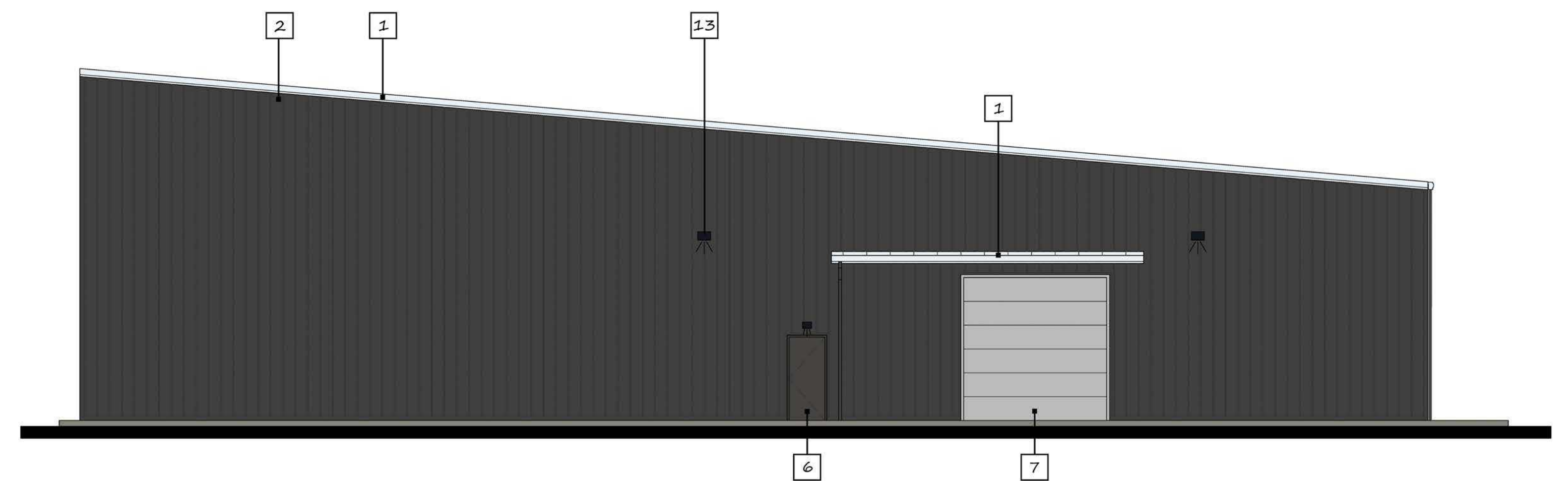
- 1 ROOF: STAR BUILDING SYSTEMS , DOUBLE-LOC METAL ROOFING PANELS
COLOR: SOLAR WHITE (ENERGY EFFICIENT)
- 2 SIDING #1: STAR BUILDING SYSTEMS, PBR WALL PANELS (VERTICAL)
COLOR: CHARCOAL GRAY
- 3 SIDING #2: STAR BUILDING SYSTEMS, SHADOWRIB WALL PANELS (HORIZONTAL)
COLOR: ASH GRAY
- 4 WAINSCOT: MUTURAL MATERIALS CMU WITH MATCHING CAP
COLOR KHAKI
- 5 TAP ROOM DOORS: HOLLOW METAL DOORS AND FRAMES WITH GLAZING, PAINTED
DOORS/FRAMES
COLOR: BLACK
- 6 DOORS (NOT @ TAPROOM): HOLLOW METAL DOORS AND FRAMES, PAINT
COLOR: MATCH TO CHARCOAL GRAY SIDING
- 7 OVERHEAD DOOR: FACTORY FINISH
COLOR: GRAY

- 8 WINDOWS: FIBERGLASS FRAME
COLOR: BLACK
- 9 GLAZING: DOUBLE GLAZED
COLOR: CLEAR, LOW E
- 10 CANOPY: METAL, PAINTED
COLOR: BLACK
- 11 WOOD BEAMS AND POSTS: CEDAR WITH PPG PROLUXE LOG& SIDING STAIN
COLOR: CEDAR 077
- 12 COLUMN BASES: ARCHITECTURAL CONCRETE
COLOR: NATURAL, SEALED
- 13 LIGHTING: REFER TO FIXTURE CUT SHEETS
COLOR: BLACK
- 14 TEMPERATE HABITS SIGNAGE, BLACK



NORTH ELEVATION

SCALE: 1/8"=1'-0"



WEST ELEVATION

SCALE: 1/8"=1'-0"

PROPERTY ADDRESS: LOT E OF THE AVR BUSINESS PARK
BINDING SITE PLAN
ASSESSORS #: 31051400203300

SITE SQUARE FOOTAGE

149 ACRES OR 64,701SF

ZONING

G1 - GENERAL INDUSTRIAL/ AIRPORT PROTECTION DISTRICT C

SETBACKS

25' FROM STREET (EAST PROPERTY LINE) [OK]
20' FROM REAR (WEST PROPERTY LINE) [OK]
5' FROM SIDES (NORTH/ SOUTH PROPERTY LINES) [OK]

BUILDING HEIGHT

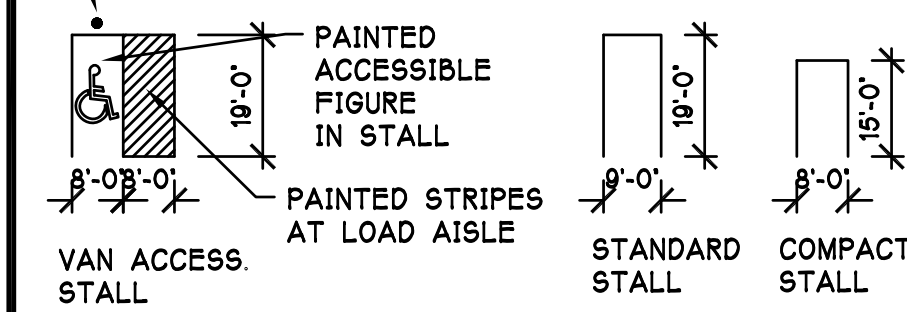
50'-0" MAX ALLOWED [OK]
HEIGHT DEFINED FROM THE AVERAGE EXISTING NATURAL GRADE
TO THE RIDGELINE OF THE ROOF. [OK]

SITE COVERAGE

MAXIMUM LOT COVERAGE IS 100%

PARKING

RESERVED PARKING
SIGN WITH R7-801 PLAQUE
PER WSDOT STD PLAN H-5E



PARKING REQUIREMENTS PER COA MUNICIPAL CODE
TABLE 2072-1 BREWERY, DISTILLERY, CRAFT BEVERAGE PRODUCTION

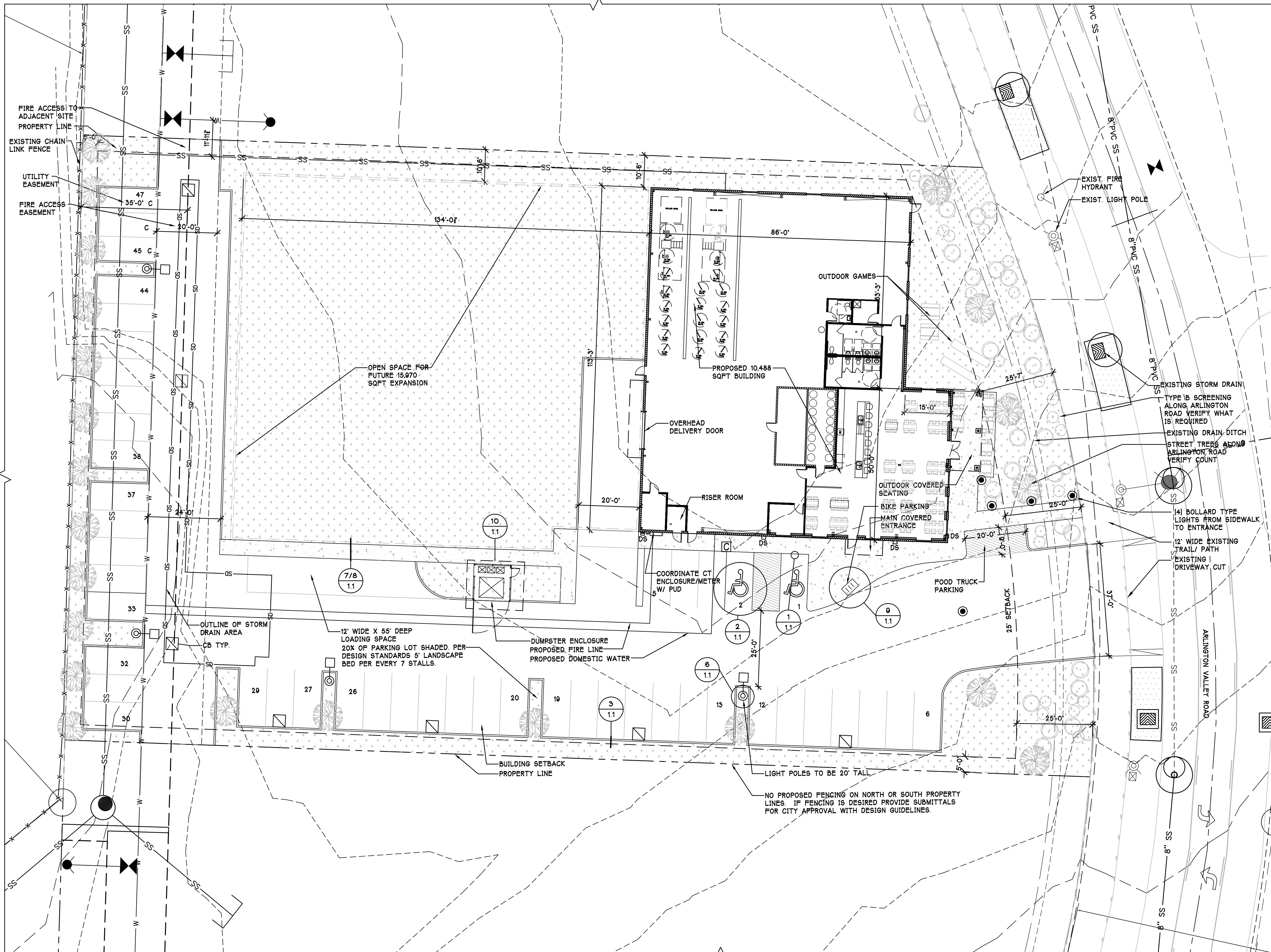
- PRODUCTION 8,764 SQFT / 600 + 14.6 (15 STALLS REQ'D)
- TAP ROOM 1,724 S.F. / 200 + 8.62 (9 STALLS REQ'D)
- 1 STALL PER EIGHT OUTDOOR SEATS, 24 SEATS PROVIDED (3 STALLS REQ'D)
- (27) TOTAL REQUIRED STALLS
- (47) STALLS PROVIDED [OK]
- DRIVE AISLE LANES ARE TO BE 24'-0" WIDE
- CHAPTER 11 IBC TABLE 1106.1 FOR PARKING SPACES BETWEEN 25-50 REQUIRE (2) ADA STALLS
- (2) ADA STALLS PROVIDED, (1) OF WHICH IS VAN ACCESSIBLE [OK]

LANDSCAPING REQUIREMENTS

- IRRIGATION SYSTEM WILL BE SUPPLIED.
- 5' WIDE TYPE B LANDSCAPE SCREEN ALONG ARLINGTON VALLEY ROAD.
- 20% OF PARKING TO BE SHADED SHOWN ON LANDSCAPE PLAN
- 1 LANDSCAPE BED FOR EVERY 7 STALLS PER COA DESIGN STANDARDS
- NO SCREENING REQUIRED ON NORTH SOUTH OR WEST PROPERTY LINES
- STREET TREES REQ'D ALONG ARLINGTON VALLEY ROAD. SPACED 35' APART.

LEGEND

- NEW CONCRETE SIDEWALK/ PATIO
- GRASS / LANDSCAPING
- AREA OF EXTRUDED CURB
- SITE LIGHT PER ELECTRICAL
- DECORATIVE SITE PEDESTRIAN SCALE LIGHT PER ELEC.
- INDICATES FUTURE DUAL SIDED EV CHARGING STATION SERVING 2 PARKING SPOTS. RUN ALL REQ'D 3-1/4" CONDUIT FROM ELEC. ROOM TO THIS LOCATION. SEE ELEC. DWGS FOR MORE INFORMATION. (1) LOCS. FOR A TOTAL OF (2) STALLS



PROPOSED SITE PLAN 6-11-24

SCALE: 1/16"=1'-0"

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architecture & planning
116 EAST FIR STREET
SUITE A
MOUNT VERNON, WA. 98273
Phone: (360) 424-0394
Fax: (360) 424-5726

10558 REGISTERED ARCHITECT
QUENTIN PAUL SUTTER
STATE OF WASHINGTON
5-24-24

A NEW BUILDING FOR:
TEMPERATE HABITS BREWING
19712 ARLINGTON VALLEY ROAD
ARLINGTON, WA 98233

CONTACT:
KATIE KING
katie@temperatehabitsbrewing.com
831-277-0323

CHAD FISHER
CONSTRUCTION LLC

22-636
PROJECT NUMBER:

REVISIONS:
2-1-24 DESIGN SET
3-5-24 PERMIT SET
5-24-24 DESIGN REV.
6-11-24 DESIGN REV.

SHEET TITLE:
SITE PLAN

DATE:
DRAWN BY:
CHECKED BY:

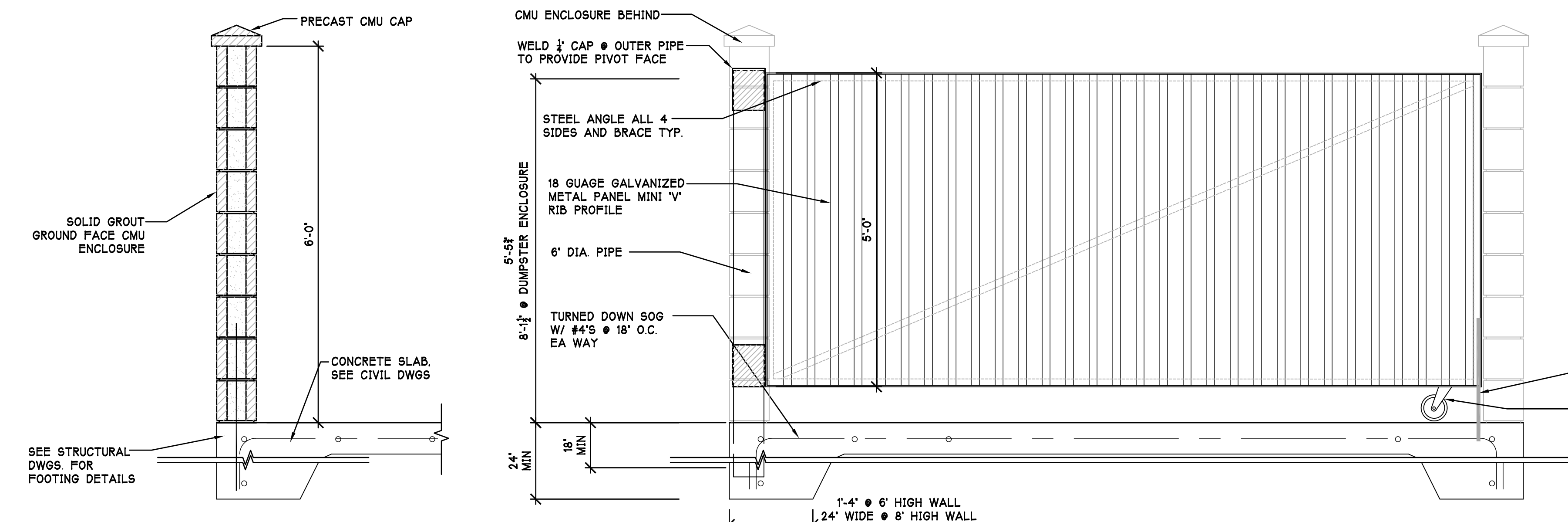
DATE:
DRAWN BY:
CHECKED BY:

Zoning Approval
PLN#1099
February 23, 2024
Ameresia Law & Associates, PLLC
10000 1st Avenue, Suite 200
Everett, WA 98201
Tel: 425.336.8888
Fax: 425.336.8889
www.ameresialaw.com

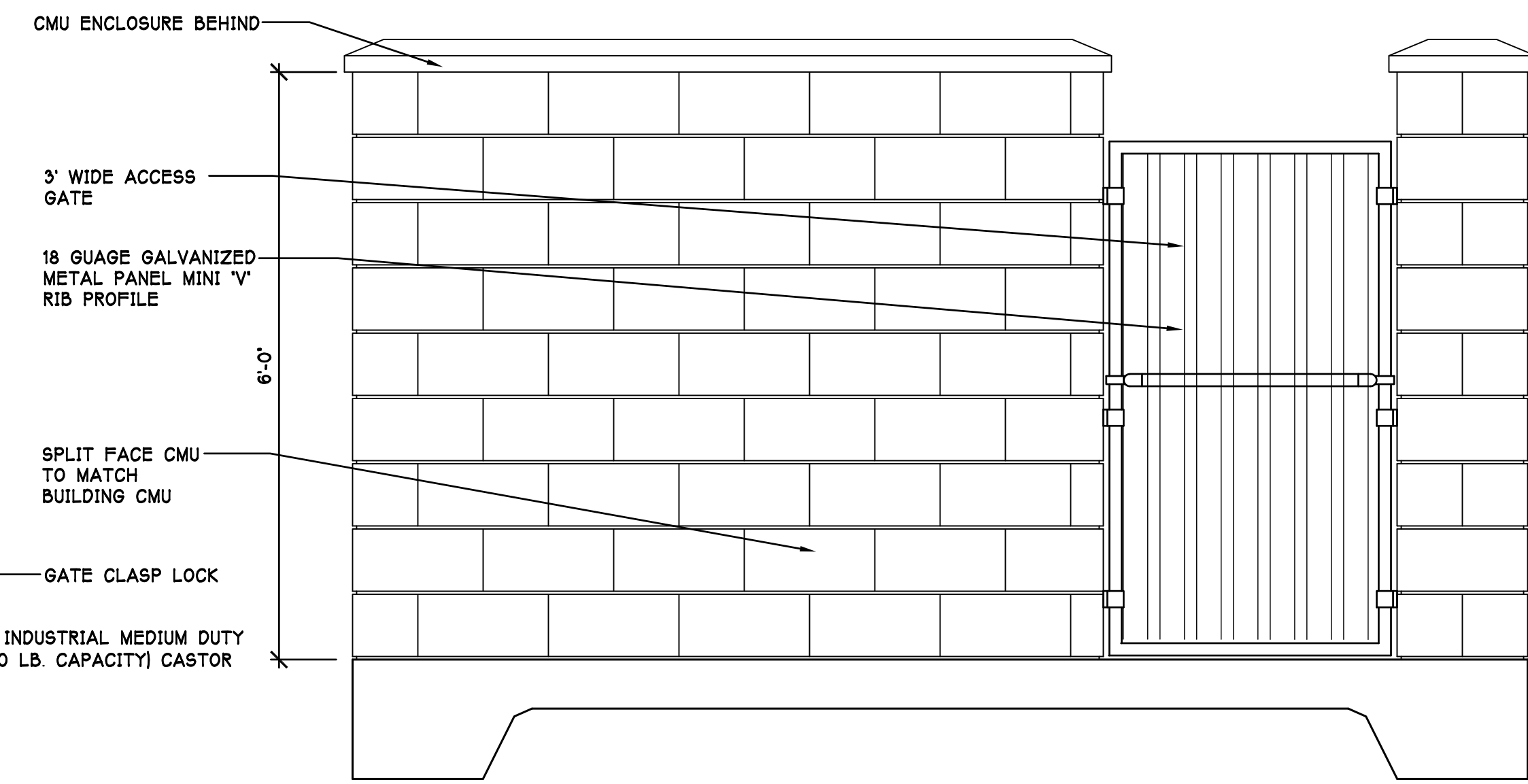
QUENTIN SUTTER
PROJECT ARCHITECT
QUENTIN SUTTER
DRAWN BY:
PJC
CHECKED BY:

JUNE 21, 2022
DATE
S:\ARCH\22\DRAWINGS\22-636_S1
COMPUTER FILE NAME

DR-3
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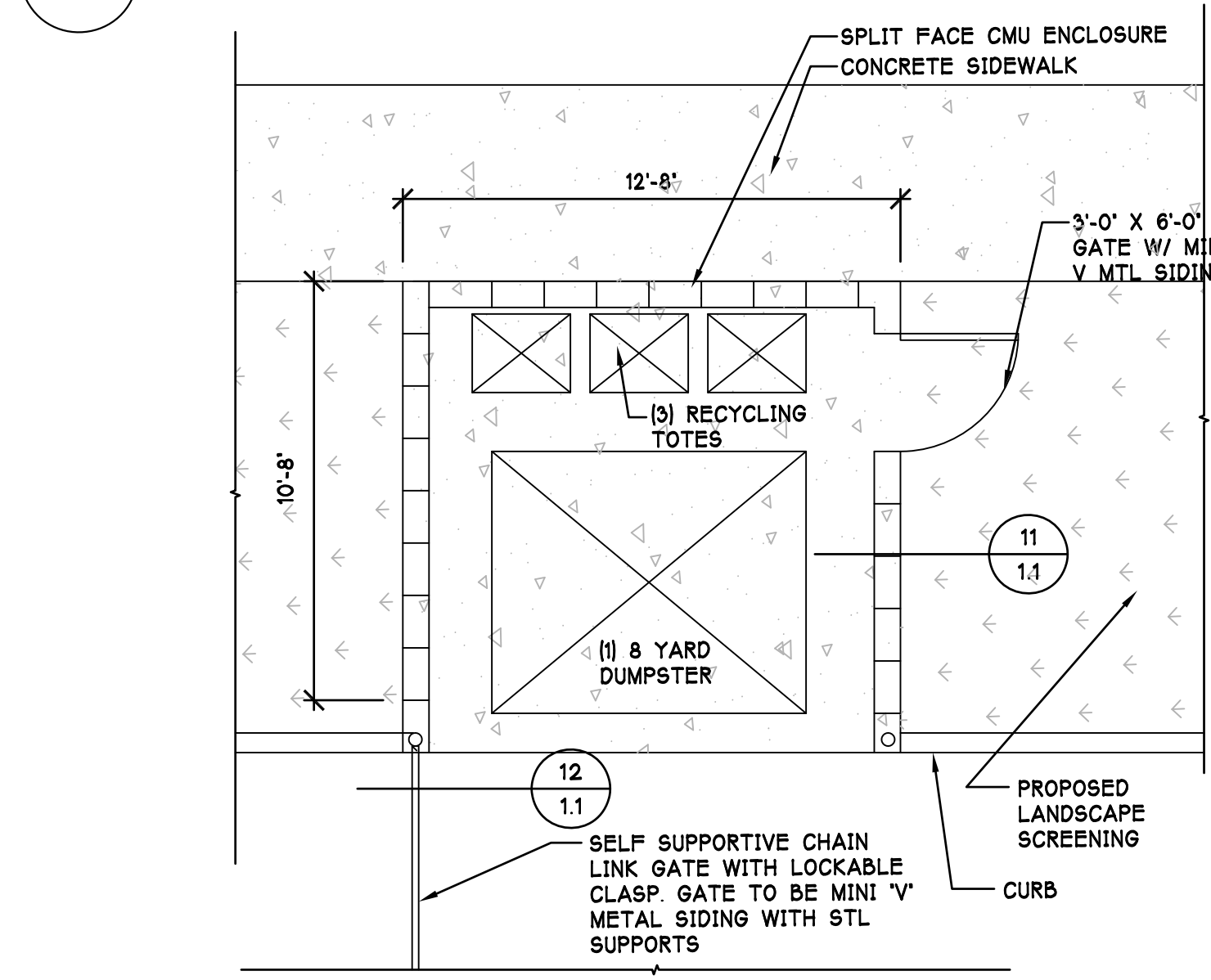


11 DUMPSTER ENCLOSURE TYPICAL ELEVATION/ SECTION



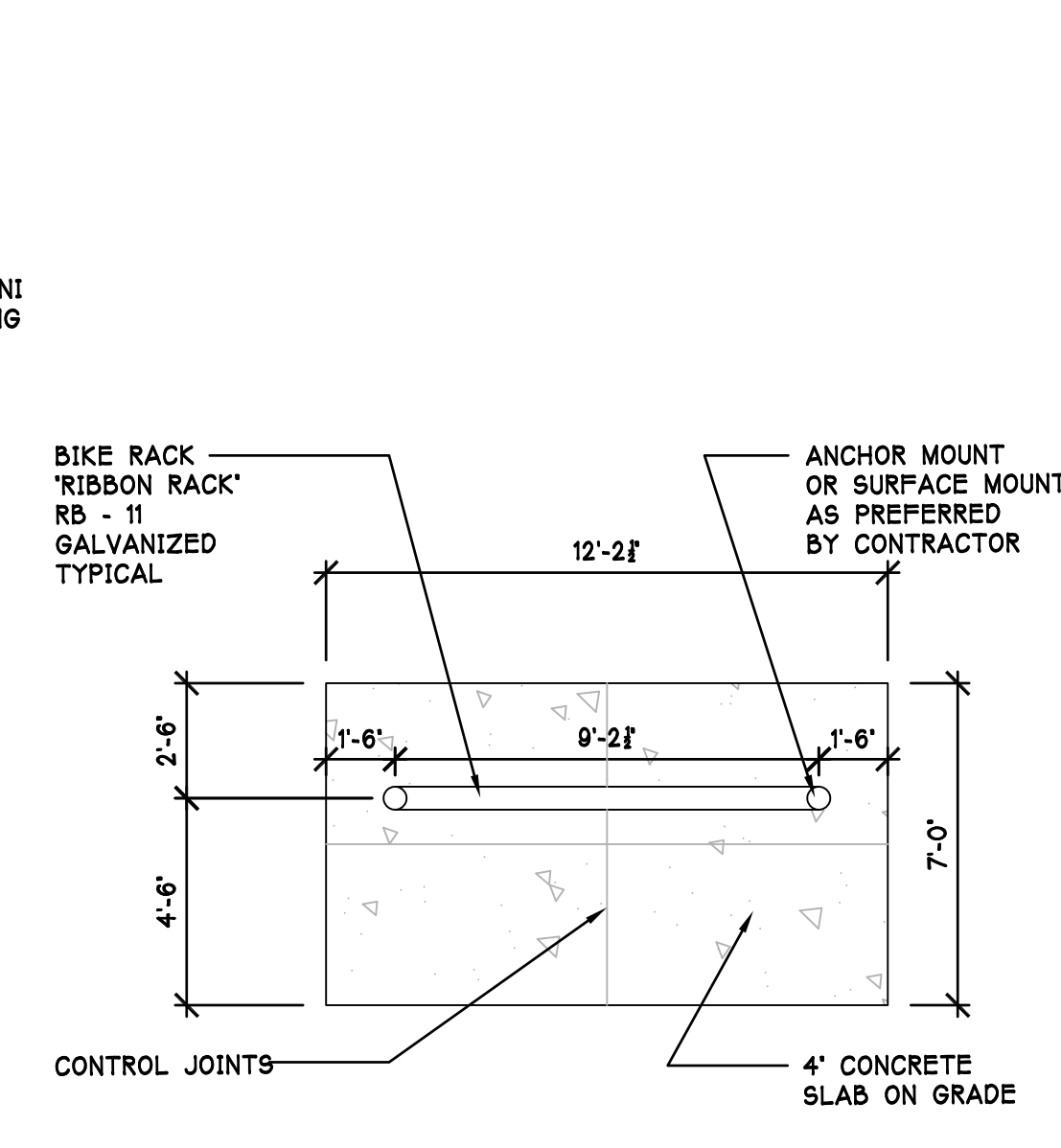
12 DUMPSTER GATE

SCALE: 1 1/2"=1'-0"



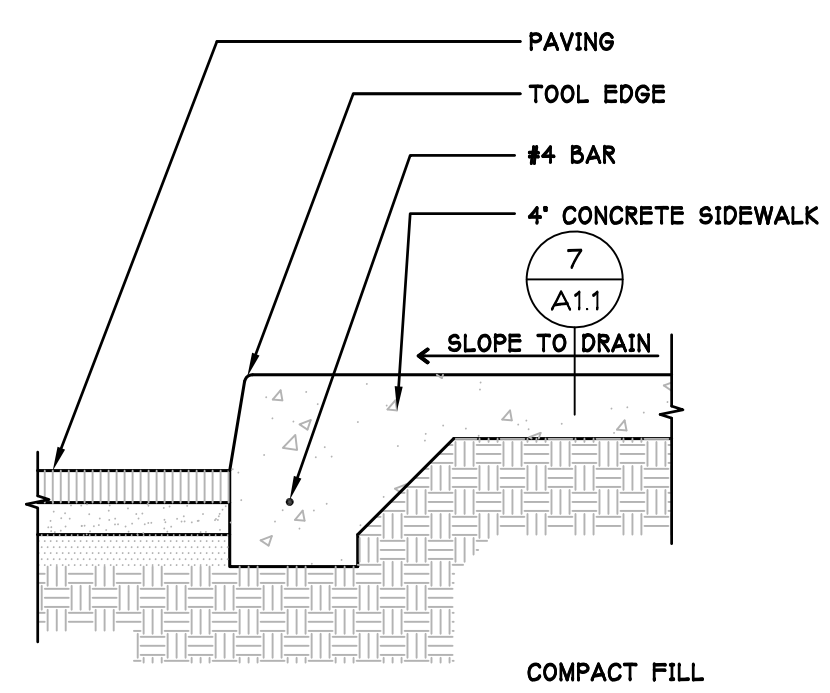
10 DUMPSTER PLAN

SCALE: 1/4"=1'-0"



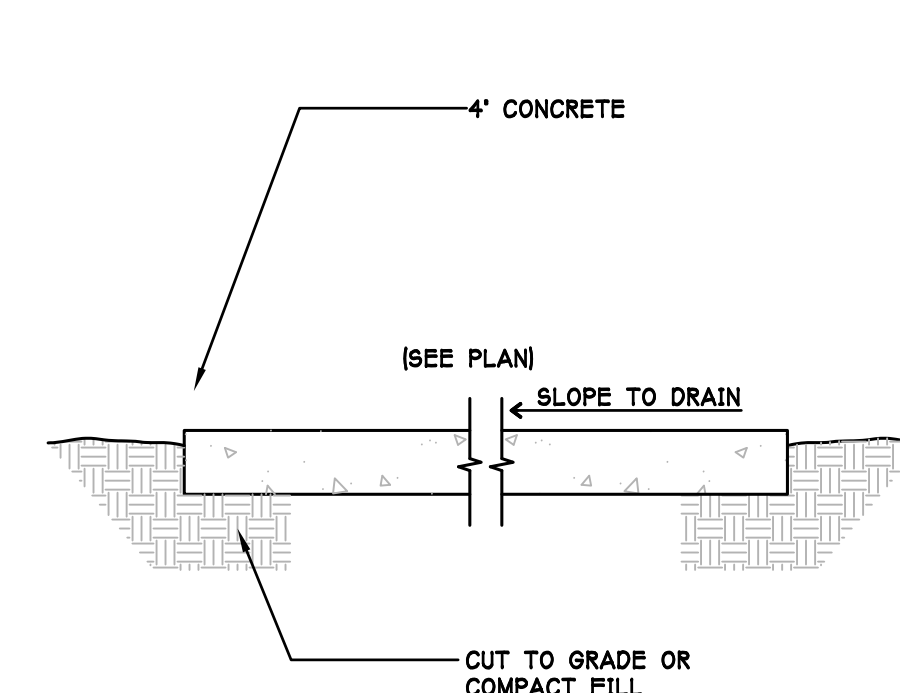
9 BIKE RACK DETAIL

SCALE: 1/4"=1'-0"



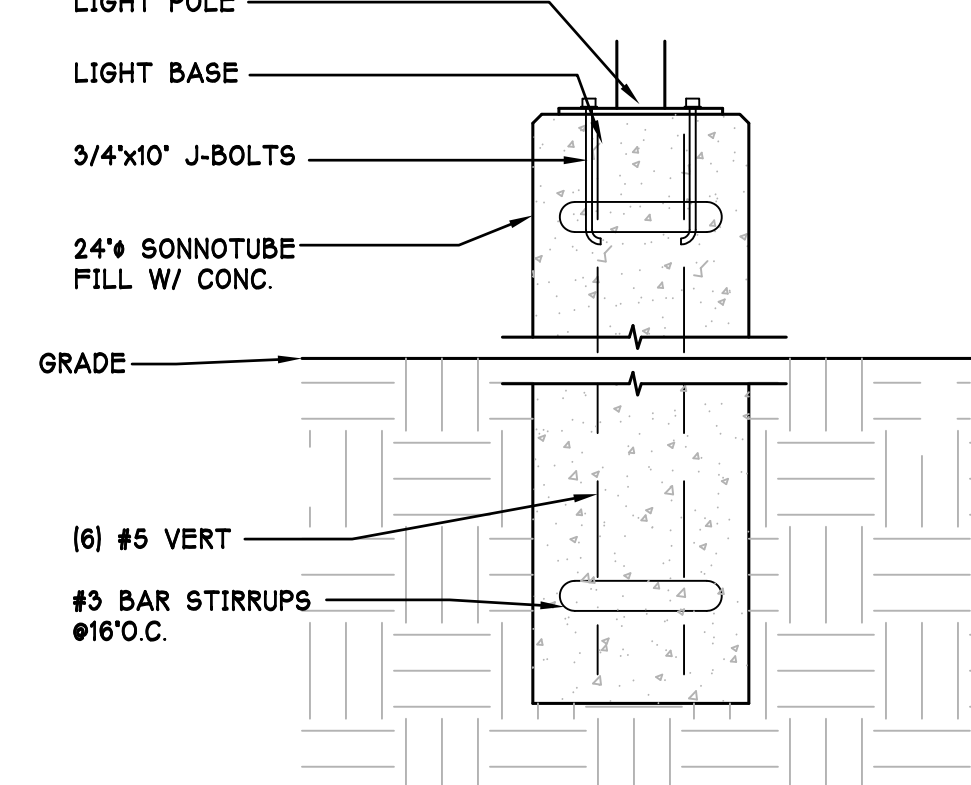
8 SIDE WALK CURB

SCALE: 1"=1'-0"



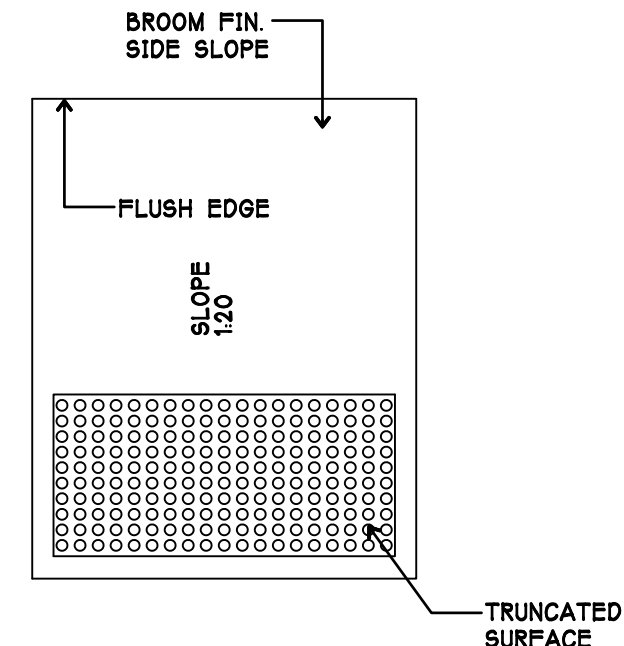
7 TYPICAL SIDEWALK

SCALE: 1"=1'-0"



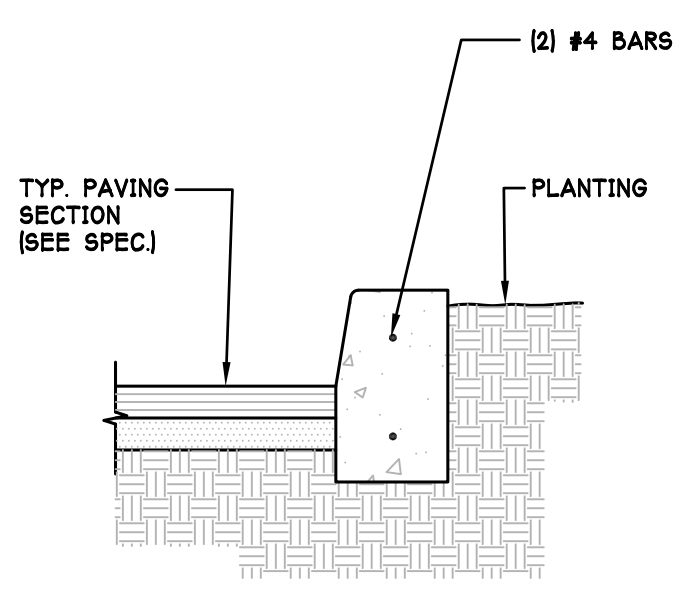
6 LIGHT POLE BASE

SCALE: 3/4"=1'-0"



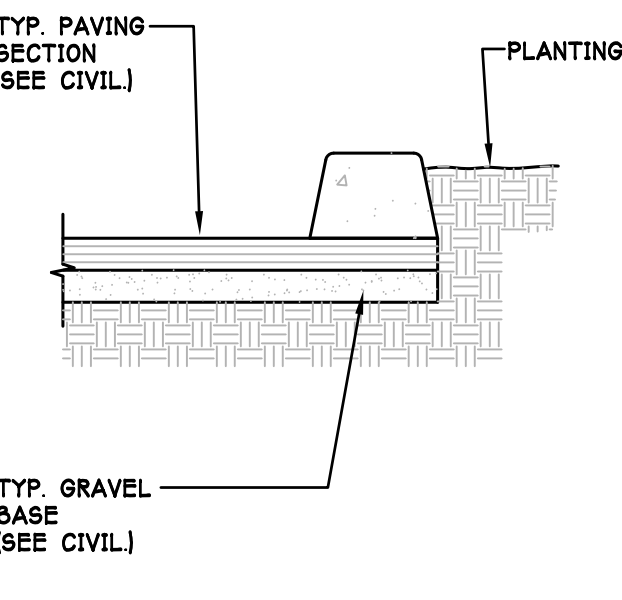
5 SIDE WALK CURB

SCALE: 1"=1'-0"



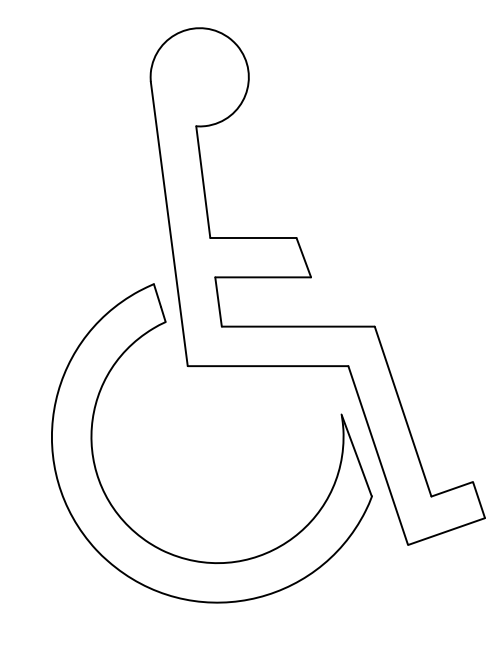
4 CAST IN PLACE CURB

SCALE: 1"=1'-0"



3 EXTRUDED CURB

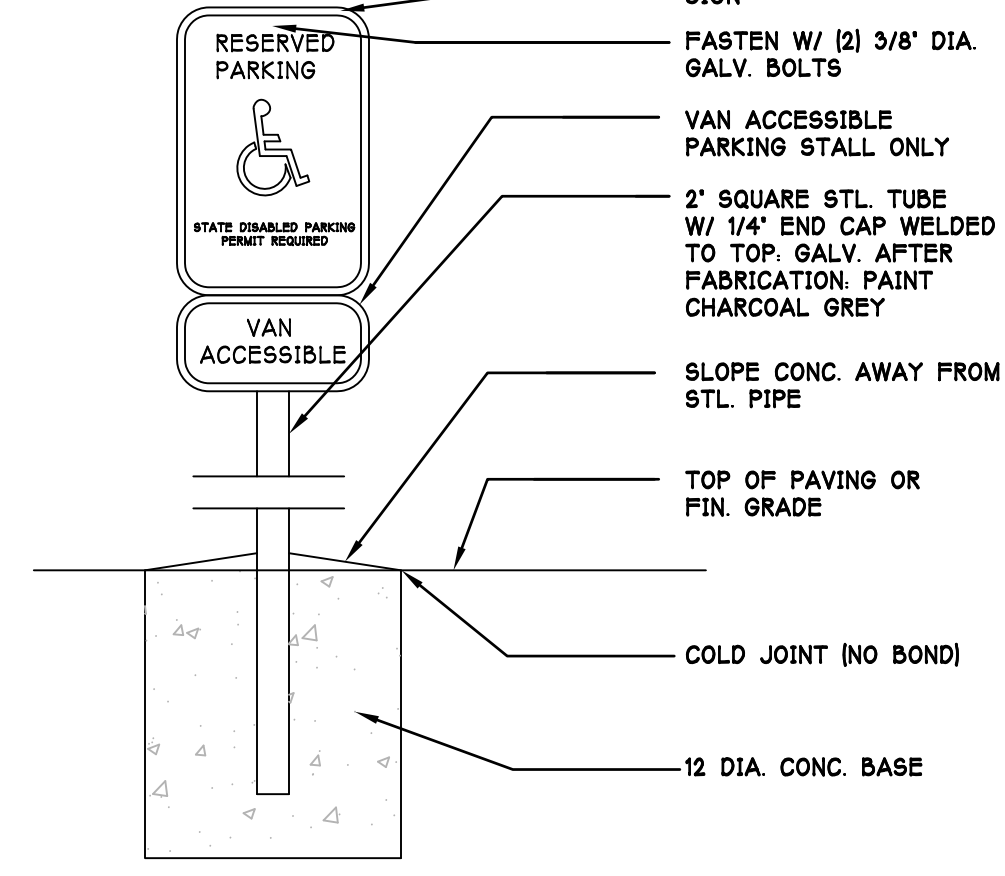
SCALE: 1"=1'-0"



2 B.F. STALL

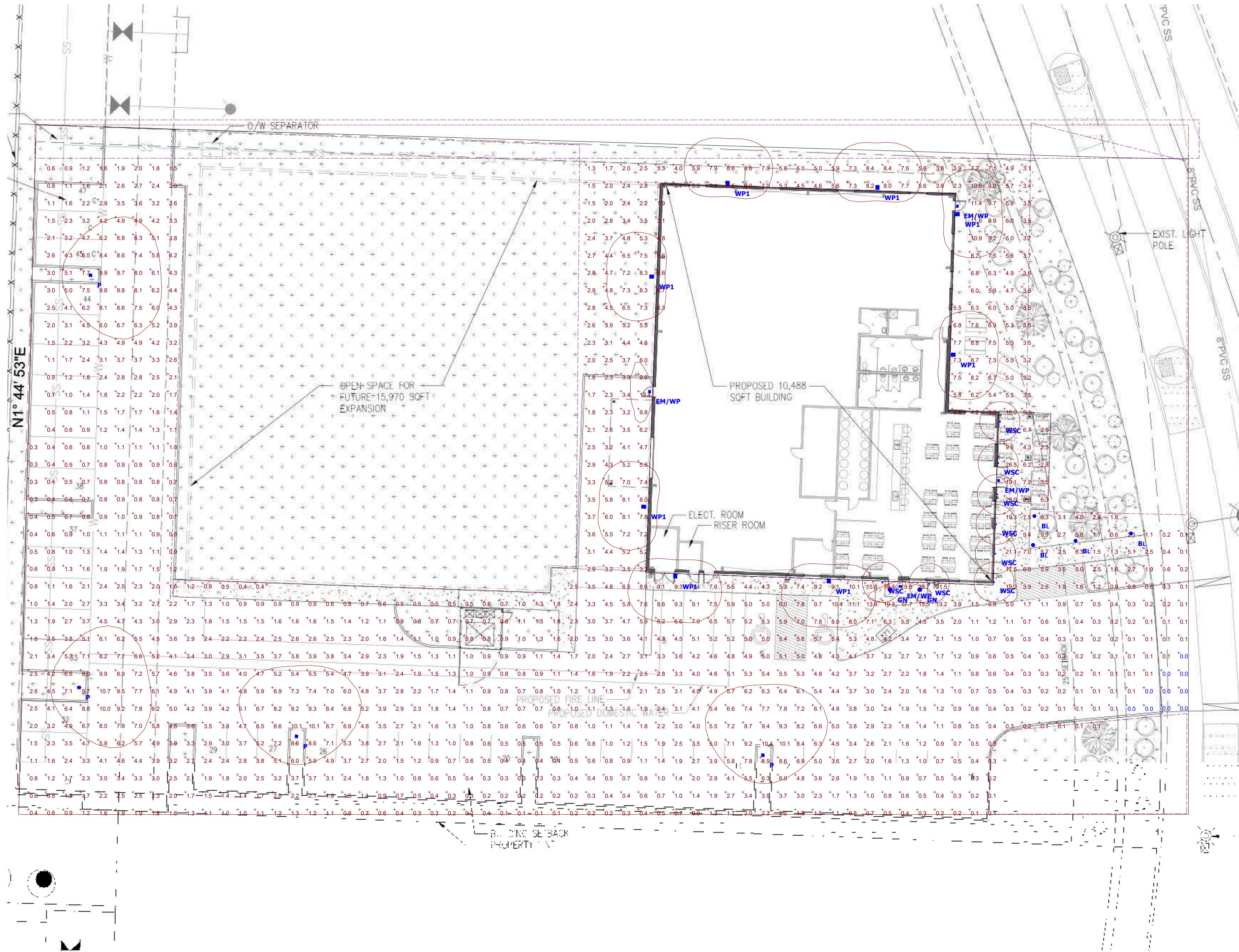
SCALE: 1"=1'-0"

NOTE: ALL SIGNS DEPICTING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY TO BE WHITE W/ BLUE BACKGROUND



1 ACCESSIBLE PARKING

SCALE: 1"=1'-0"

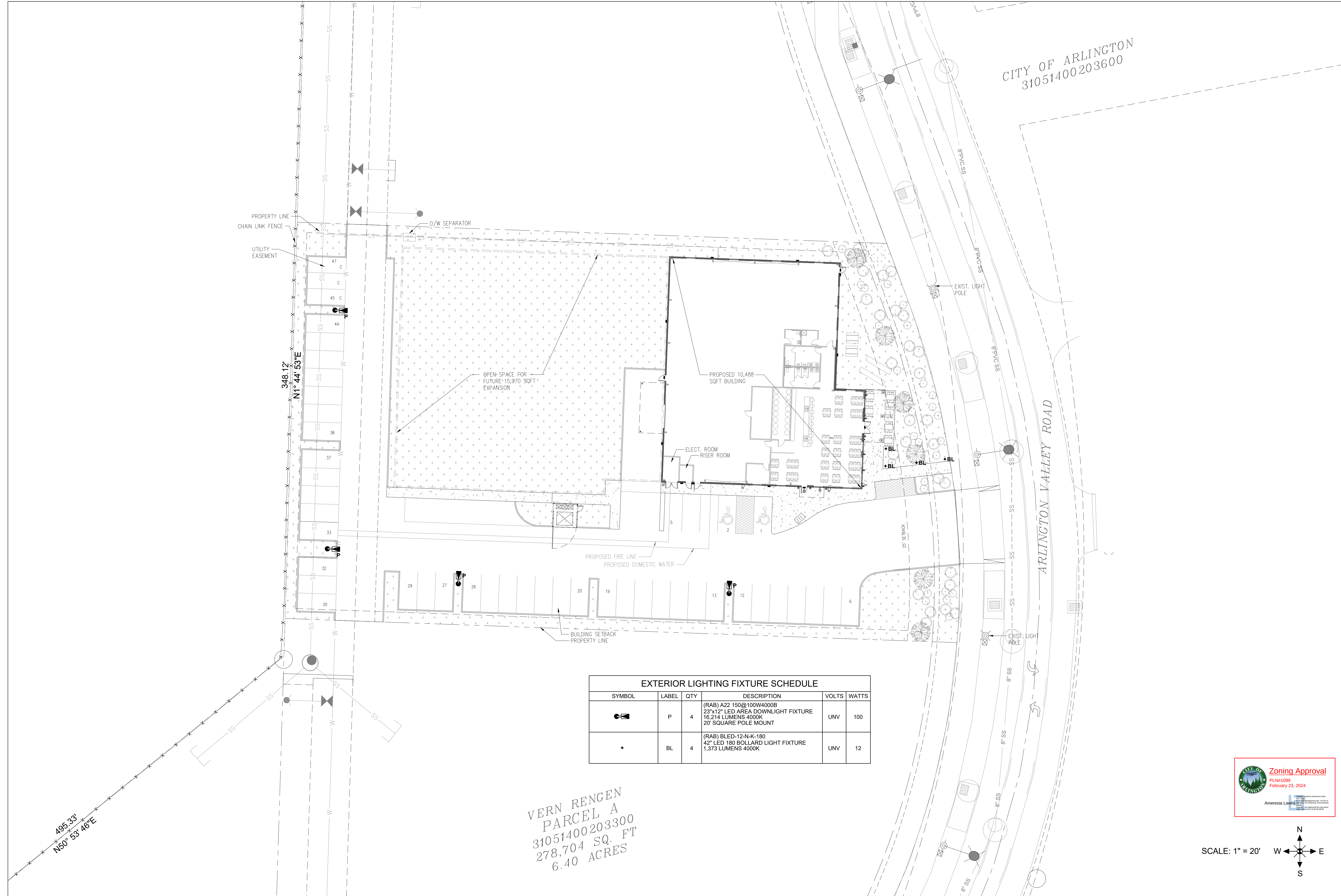


Plan View

Schedule							
Symbol	Label	QTY	Manufacturer	Catalog	Description	Lamp Output	LLF
BL	BL	4	RAB LIGHTING INC.	BLED12-180	42" LED Bollard 360 degree	1329	1
EM/WP	EM/WP	4	ELITE	OWP-FC-104-LED-1600L-MVOLT-40K-BZ	Emergency back up full cut off wall pack. Dark Sky	1616	1
GN	GN	2	RAB LIGHTING, INC.	GNLED13NSTB	DECORATIVE 577 LUMENS GOOSENECK 13W 4000K 35" ARM STRAIGHT SHADE FLOOD 15" GREEN	577	1
P	P	4	RAB Lighting Inc.	A22 150@100W4000K	150/120/100W AREA LIGHT, DOWN LIGHT, FIXTURE MOUNTED ON 20" SQUARE STEEL POLE	16214	1
WP1	WP1	8	ELITE LIGHTING	OWP-FC-211-LED-9400L-DIM10-MVOLT-40K-BZ	LED WALL PACK (DOWN LIGHT)	9284	1
WSC	WSC	8	RAB LIGHTING	CDLED4WD-20W-50D940-Z	CYLINDER 1853 LUMENS 20 4" WALL MOUNT (DOWNLIGHT) ONLY BRONZE	1851	1

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Exterior	+	3.4 fc	39.4 fc	0.0 fc	N/A	N/A



CITY OF ARLINGTON
31051400203600

REV #	ADDENDUM	DATE
1	REV1	05-23-2024

PRIMAC
ELECTRIC, LLC

P.O. Box 1366
Burlington, WA 98233
V: (360) 755-1523
FAX: (360) 755-1562

TEMPERATE HABITS
ARLINGTON

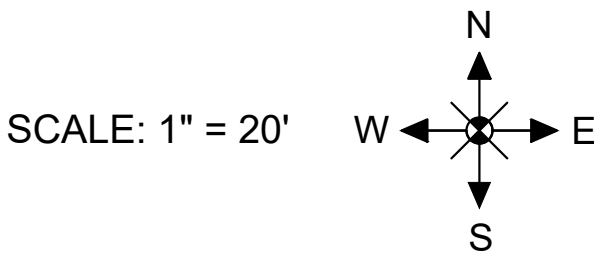
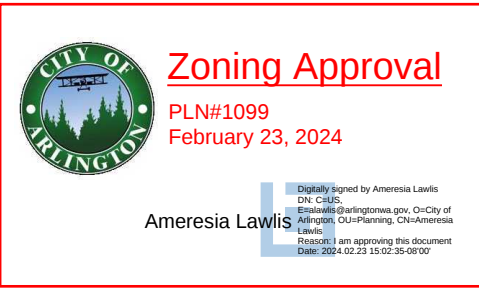
19712 ARLINGTON VALLEY ROAD
ARLINGTON, WA 98273

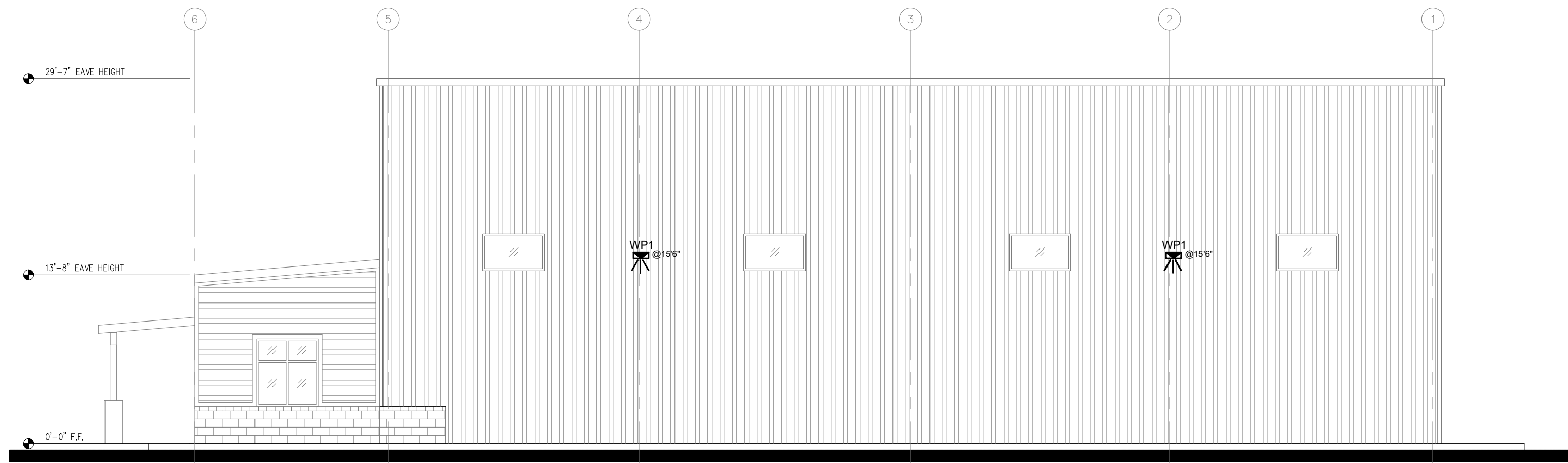
SITE
LIGHTING
PLAN

DATE: 02-02-2024
APPROVED: JM
DRAWN BY: LHW
JOB #: 5458
SCALE: 1" = 20'
SHEET:
E0.3

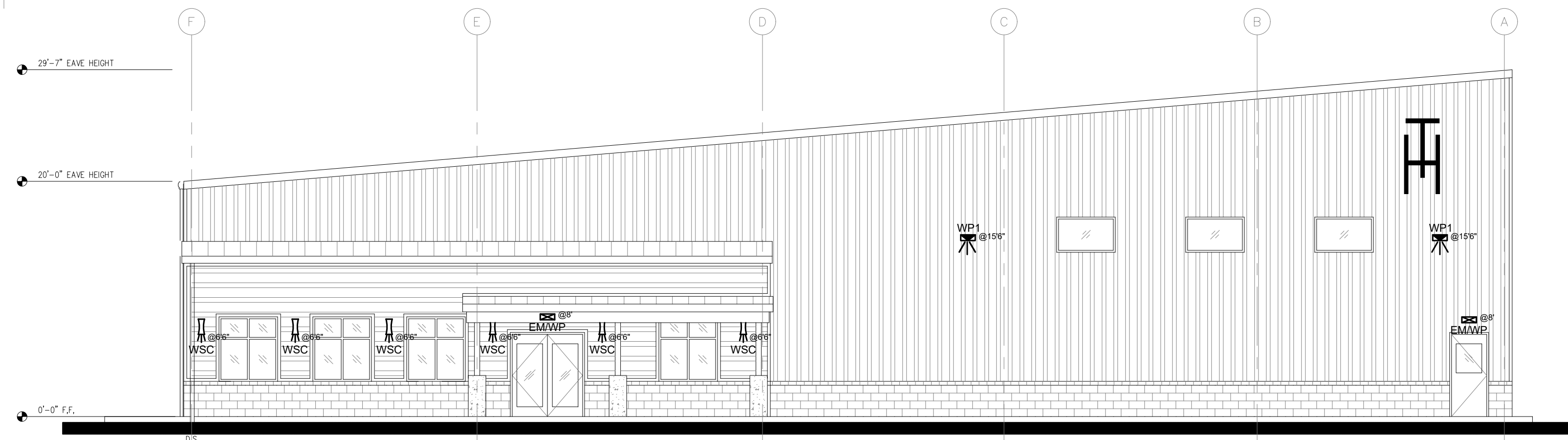
EXTERIOR LIGHTING FIXTURE SCHEDULE					
SYMBOL	LABEL	QTY	DESCRIPTION	VOLTS	WATTS
	P	4	(RAB) A22 150@100W4000B 23"x12" LED AREA DOWNLIGHT FIXTURE 16,214 LUMENS 4000K 20" SQUARE POLE MOUNT	UNV	100
	BL	4	(RAB) BLEED-12-N-K-180 42" LED 180 BOLLARD LIGHT FIXTURE 1,373 LUMENS 4000K	UNV	12

VERN RENGEN
PARCEL A
31051400203300
278,704 SQ. FT
6.40 ACRES

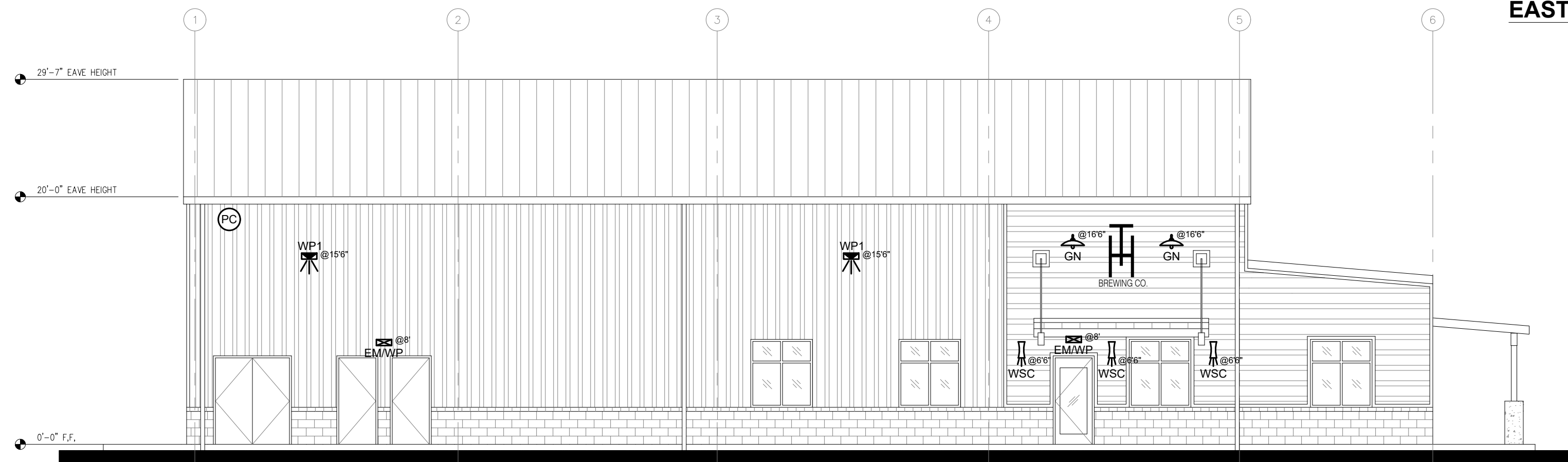




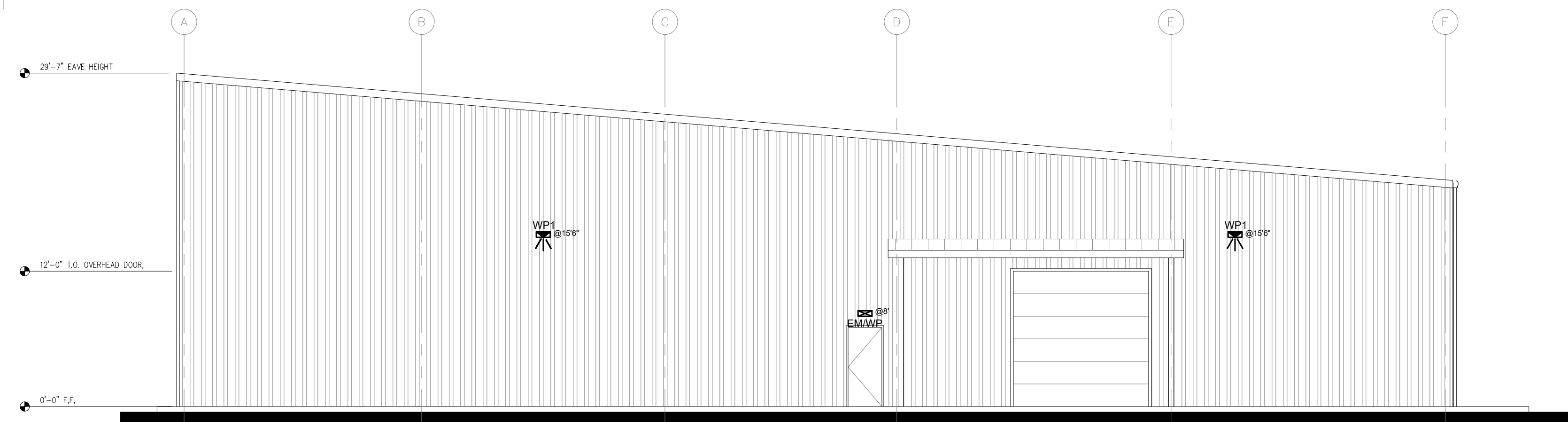
NORTH



EAST

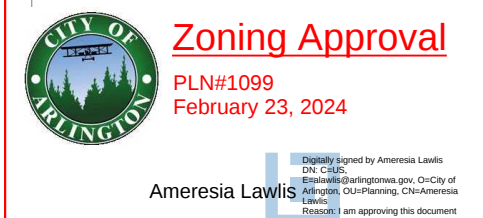


SOUTH



WEST

EXTERIOR LIGHTING FIXTURE SCHEDULE					
SYMBOL	LABEL	QTY	DESCRIPTION	VOLTS	WATTS
	GN	2	(RAB) GNALED13NSTB LED 15" WALL MOUNT GOOSENECK FIXTURE 577 LUMENS 4000K	UNV	15
	WSC	4	(ELITE LIGHTING) CDLED4WD-20W- 50D940-K LED 4" WALL MOUNT DOWNLIGHT SCONCE FIXTURE 1,851 LUMENS 4000K	UNV	20
	WP1	8	(ELITE LIGHTING) OWP-FC-211-LED-9400L- DIM10-MVOLT-40K LED DARK SKY WALL PACK FIXTURE 9,284 LUMENS 4000K	MVOLT	70
	EMWP	5	(ELITE LIGHTING) OWP-FC-104-LED-1600L- MVOLT-40K LED WALL PACK DARK SKY FIXTURE WITH EMERGENCY BATTERY BACK-UP 1,616 LUMENS 4000K	MVOLT	15
	PC	1	PHOTO CELL	0	0



SCALE: 1/8" = 1'

REV #	ADDENDUM	DATE
12		
11		
10		
9		
8		
7		
6		
5		
4		
3		
2		
1		

PRIMAC
ELECTRIC, LLC

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TEMPERATE HABITS

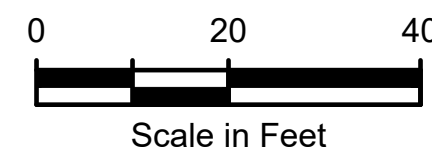
19712 ARLINGTON VALLEY ROAD
ARLINGTON, WA 98273

EXTERIOR BUILDING
ELEVATION
PLAN

DATE: 02-02-2024
APPROVED: JM
DRAWN BY: LHW
JOB #: 5458
SCALE: 1/8" = 1'
SHEET:

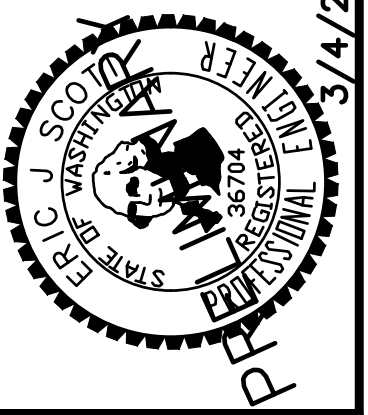
E3.0

Plotted: Mar 05, 2024 - 1:02pm
Rodney
I:\Projects\23080808 Temperate Habits Brewery (Arlington)\Plans\HB_P-LUSE.dwg
Layout Name: L02 SITE PLAN

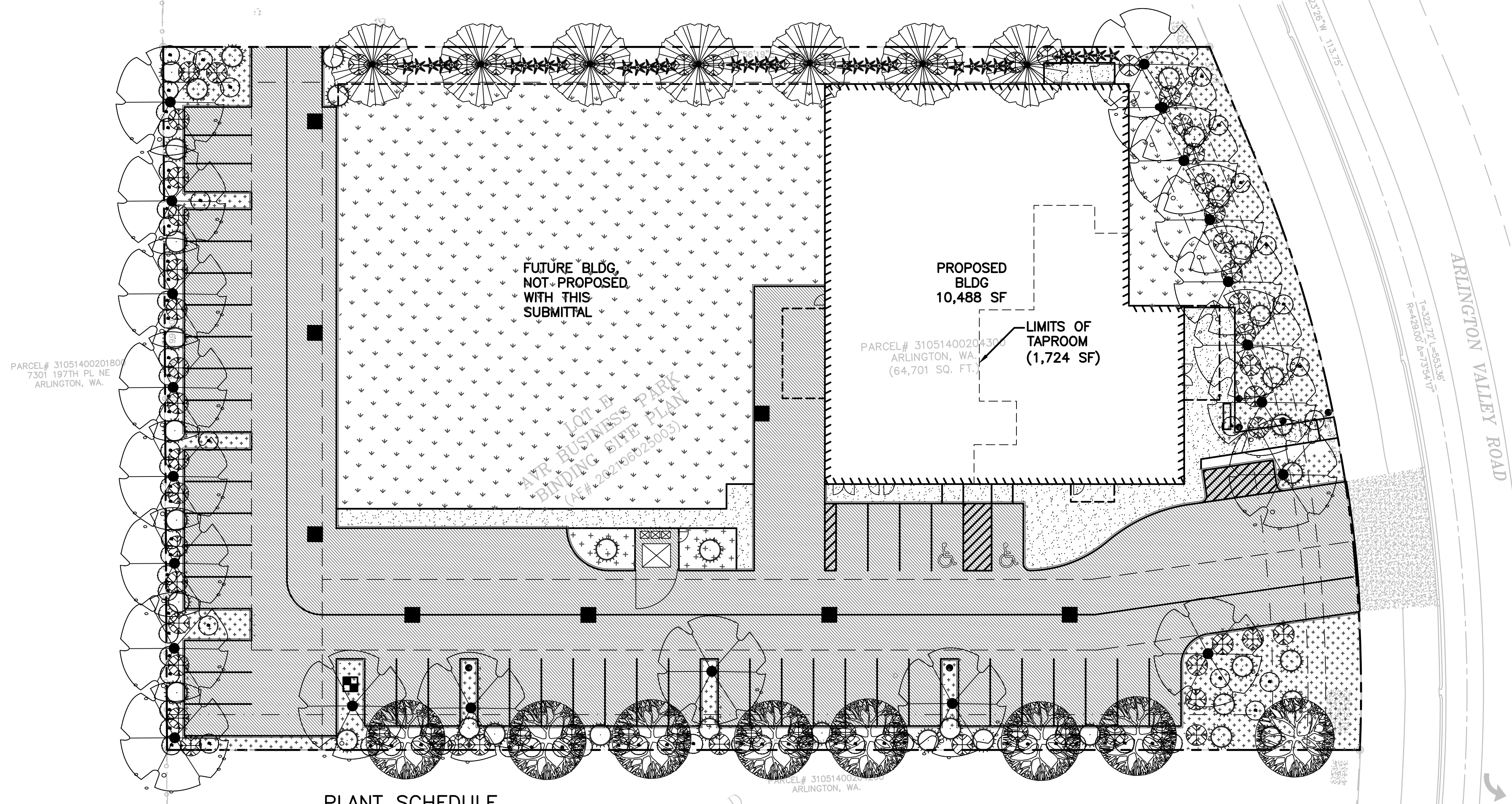


TEMPERATE HABITS BREWERY
19712 ARLINGTON VALLEY RD NE, ARLINGTON, WA 98223

 **TerraVista NW^{LLC}**
Consulting Engineers
3204 SMOKEY POINT DR. #207
ARLINGTON, WA 98223
360-691-9272
WWW.TERRAVISTANW.COM

[illegible]

OB NO.	230808
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1. PLACE A MINIMUM OF 6" TOPSOIL IN ALL PLANTING BEDS, EXCEPT FOR BIOFILTRATION. PLANTING SOIL MIX FOR BACKFILL FOR ALL TREES, SHRUBS AND GROUNDCOVER SHALL BE MIXTURE OF 2/3 TOPSOIL AND 1/3 ORGANIC MATTER, OR COMMERCIALY AVAILABLE 3-WAY TOPSOIL
2. PLANTING AND TOPSOIL STANDARDS SHALL MEET CITY OF ARLINGTON CODE.
3. CONTRACTOR SHALL FOLLOW STANDARDS FOR NURSERY STOCK AND THE ANI "AMERICAN STANDARDS FOR NURSERY STOCK.
4. PLAN SHALL BE FOLLOWED. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE APPROVAL OF THE GENERAL CONTRACTOR.
5. ALL PLANT PITS SHALL BE INSPECTED TO INSURE PROPER DRAINAGE.
6. SUBCONTRACTOR SHALL PLACE UNIFORM 2" MULCH OVER PROPERLY CLEANED AND GRADED PLANT BEDS.
7. ALL TREES SHALL HAVE 24" PLASTIC ROOT BARRIER PLACED BETWEEN THE ROOT BALL AND CURBING, PAVEMENT, OR SIDEWALKS.
8. OWNER WILL SELF-WATER TREES AND PLANTS FOR ESTABLISHMENT.

	ACER PLATANOIDES 'COLUMNARE' – COLUMNAR NORWAY MAPLE	2" CALIPER (8)
	ACER PLATANOIDES 'CRIMSON SENTRY' – CRIMSON SENTRY MAPLE	2" CALIPER (7)
	TILIA CORDATA – LITTLE LEAF LINDEN	2" CALIPER (21)
	THUJA OCCIDENTALIS 'EMERALD GREEN' – EMERALD GREEN ARBORVITAE	5 GAL (35)
	ACER CIRCINATUM – VINE MAPLE	2 GAL (38)
	RHODODENDRON 'JEAN MARIE' – JEAN MARIE RHODODENDRON	2 GAL (68)
	MAHONIA AQUIFOLIUM – OREGON GRAPE	2 GAL (76)
	ARCTOSTAPHYLOS UVA-URSI – KINNIKINNIK (24" SPACING)	4" POTS (AS REQ'D)
	GRASS – LAWN	(AS REQ'D)

PARKING AREA = 19,889 SF
 TREE SHADING = 3,980 SF
 $3,980 \text{ SF} / 19,889 \text{ SF} = 20.0\% \text{ SHADING (20\% REQUIRED)}$

FRONTAGE/NORTH AREA = 5,986 SF
SOUTH AREA = 3,807 SF
WEST AREA = 1,993 SF
PERCENTAGE OF TOTAL LOT LANDSCAPED = $11786/64701 = 18.2\%$



**Know what's below.
Call before you dig.**

CITY OF ARLINGTON
CONSTRUCTION DRAWING APPROVAL

THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED
PER THE CONDITIONS ON THE TITLE SHEET.

BY: _____
Development Services Manager

DATE: _____ THIS APPROVAL VALID FOR 18 MONTHS

LANDSCAPE PLAN

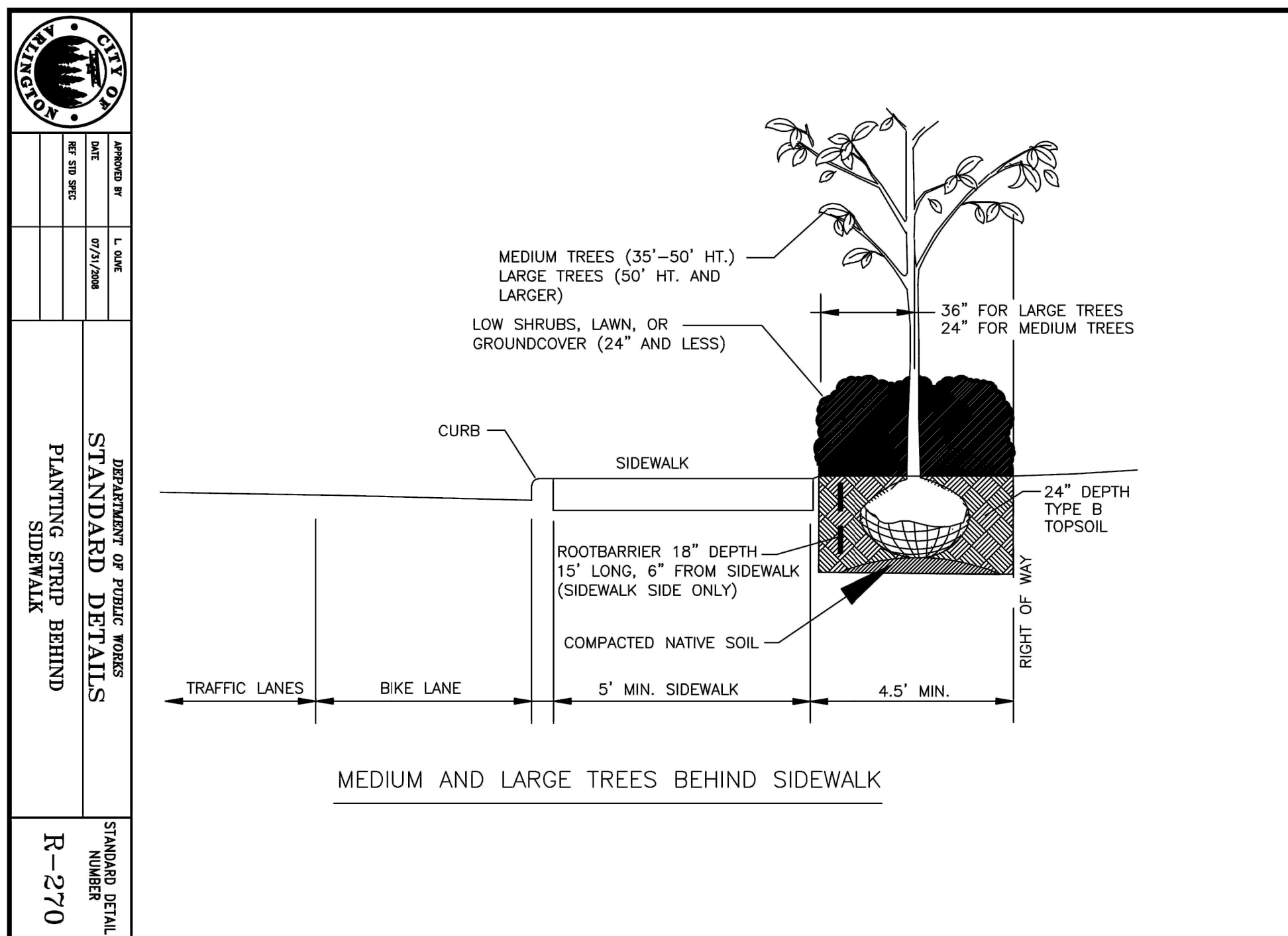
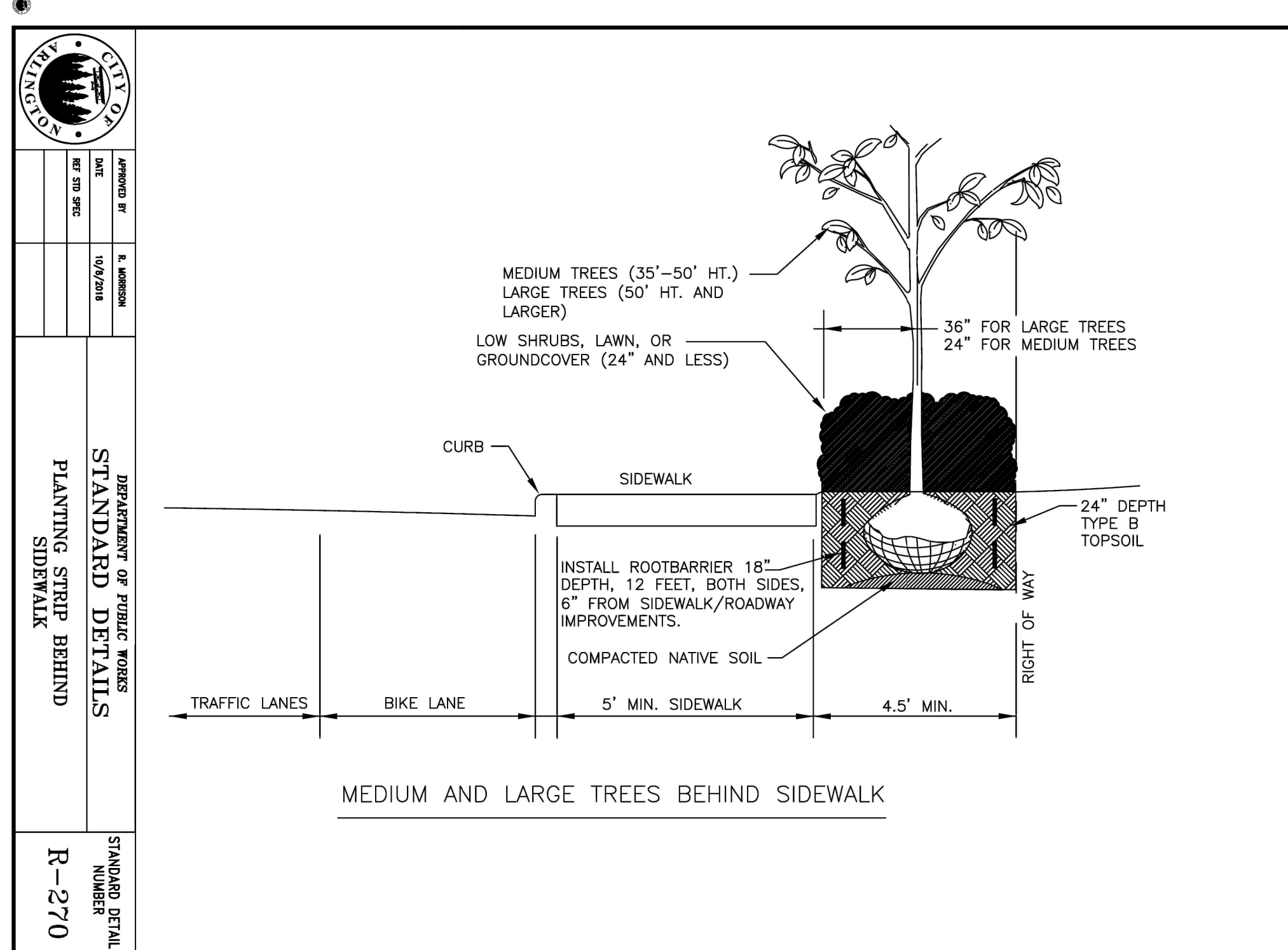
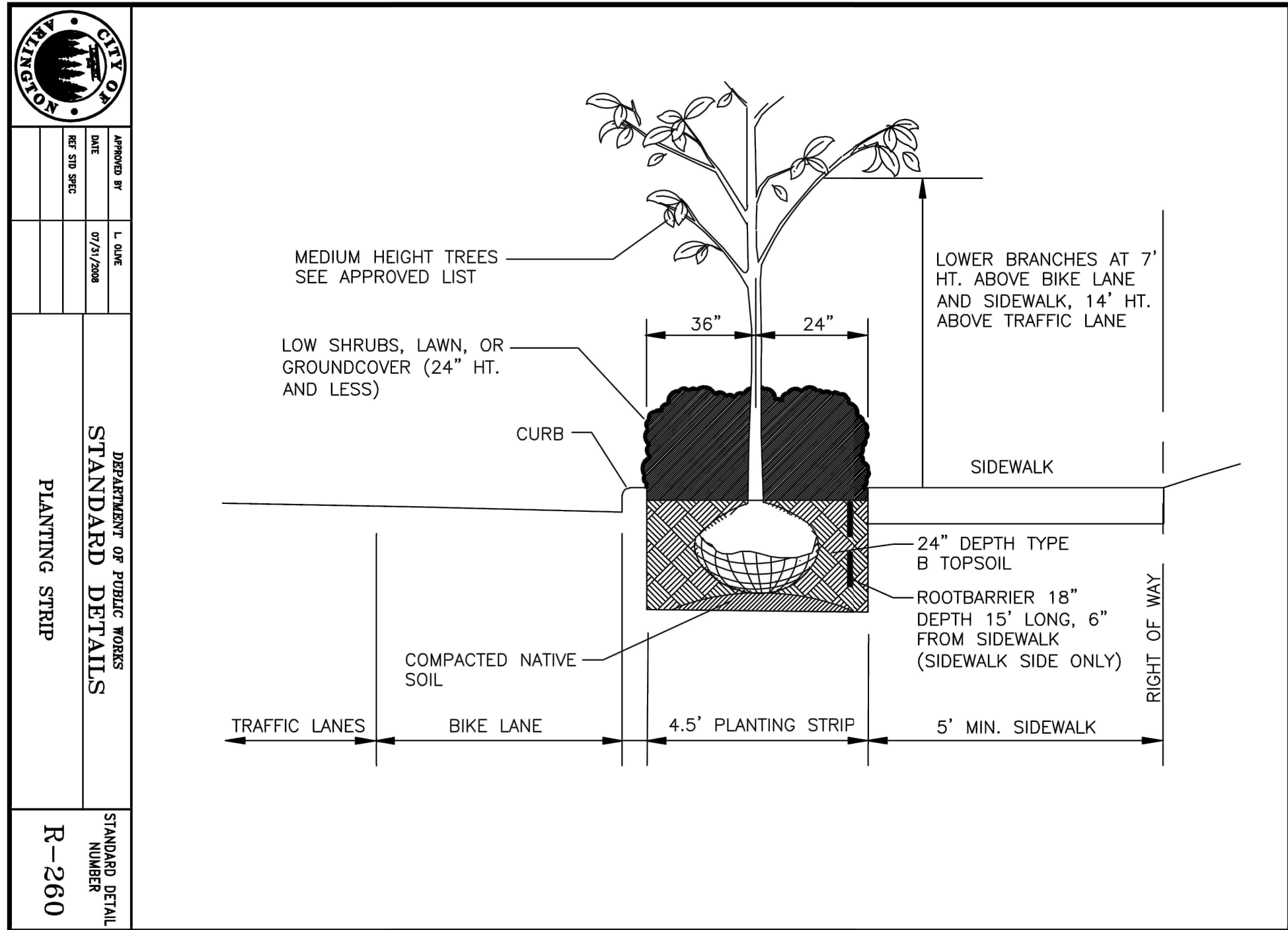
TEMPERATE HABITS BREWERY
19712 ARLINGTON VALLEY RD NE, ARLINGTON, WA 98223

L1.1

JOB NO.
230808

1 CIVIL PERMIT

A PORTION OF SW14 T31N R05E



**Know what's below.
Call before you dig**

CITY OF ARLINGTON CONSTRUCTION DRAWING APPROVAL THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET. BY: _____ Development Services Manager DATE: _____ THIS APPROVAL VALID FOR 18 MONTHS	
--	--

LANDSCAPE PLAN

TEMPERATE HABITS BREWERY
19712 ARLINGTON VALLEY RD NE, ARLINGTON, WA 98223

L1.2

JOB NO.
230808